

Town of Groton  
173 Main Street  
Groton, MA 01450

New England Craft Cultivators  
d/b/a Tree House Craft Cannabis  
113 George Street  
Boston, MA 02119

To: Town of Groton Planning Board  
From: New England Craft Cultivators, LLC  
d.b.a Tree House Craft Cannabis

Date: January 24, 2023

**Re: Application for Major Site Plan Review & Accompanying Special Permit  
Application to open a cannabis retail dispensary at 1 Forge Village Road in Groton,  
MA.**

Dear Groton Planning Board:

Consistent with sections 218-10.4(D)(2) and 218-2.5 of the Town of Groton Zoning Bylaws, New England Craft Cultivators is seeking Major Site Plan approval to open a cannabis dispensary at 1 Forge Village Road in Groton.

New England Craft Cultivators has worked with Ci Designs Inc. to prepare a comprehensive existing conditions plan [Addendum 1]. We have also prepared here an internal demolition plan and construction plan that represents all the changes we plan to make to the existing space [Addendum 2].

New England Craft Cultivators is seeking to use an existing commercial space that is currently vacant and is not seeking to make any alterations to the parking, gross floor area, structure, topography, landscaping, traffic patterns or other external areas that are typically considered in major site plan review applications. Accordingly, we are seeking to include two sets of previously approved plans (see description below and attached plans) to satisfy some of the requirements under sections 218-2.5(C) and (G). We are requesting waivers for all of the additional requirements under said sections due to our unusually simple circumstances.

We have included copies of the plans that were approved by the Groton Planning Board in 2005 [Addendum 3] and as modified by the Board in 2007 [Addendum 4] as they were prepared by GPR Engineering Solutions for the property (previously known as 785 Boston Road). New England Craft Cultivators is leasing the unit identified in these drawings identified as "First Floor Lease Area." These plans accurately represent the parking spaces available to us (18) directly in the lot by our entrance plus (64) additionally available on the property.

We are incredibly excited to bring this application as well as our accompanying Special Permit application before you and look forward to becoming part of the fabric of the community in Groton.

Sincerely,

A handwritten signature in black ink, appearing to read 'Wes Ritchie & Ture Turnbull', with a stylized flourish at the end.

Wes Ritchie & Ture Turnbull  
New England Craft Cultivators, LLC  
d.b.a Tree House Craft Cannabis



Forge Village Rd

1 Forge Village Road  
Groton, MA

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measuring equipment and our best standards and practices.  
All work will be field verified by client prior to design or  
construction or other use.

General Notes:

1. It is expressly understood by client that ECS is not an architectural or engineering entity. None of the documents prepared by ECS for client shall have any stamping or certification of such kind as professionals or law requires.
2. This is not a structural or MEP analysis or any design model. Visible and accessible elements are modeled for location and size. Further structural or MEP analysis could be necessary by others.
3. STANDARD OF PRACTICE: Services performed by ECS under this Agreement will be conducted in a manner consistent with that level of care and skill ordinarily exercised by members of the profession currently practicing in the same locality under similar conditions. No other representation, expressed or implied, and no warranty or guarantee is included or intended in the Agreement, or in any report, opinion, document or otherwise. Client shall field verify all work prior to design, construction, or other use.
4. These drawings are for the intended purposes listed in the scope of work. If the level of survey and/or data is not used for any other reasons, the scope of work provided to client for further information.

Laser Scanning Notes:

1. Visit FARO.com and leica-geosystems.com for 3D laser scanner literature, range information and product specifications.
2. Laser scanning equipment uses light waves to measure distances. Unforeseen site conditions such as dust, moisture, vibration, surface reflectivity, lighting conditions, temperature, humidity, wind strength, etc., may affect the accuracy of the scan. Impact registration between scan locations.
3. Accuracy over long distances can be improved if the client provides survey benchmarks prior to scanning in order to reference the laser scan data into a coordinate system.
4. The Revit file contains the most complete alignment of point cloud data. All laser scanning by default is in a local coordinate system. Laser scans completed on multiple days may be tied into previous laser scans by use of site specific features and targets. Point cloud adjustments are made in Revit for a final verification.

Project Number: 10781812910

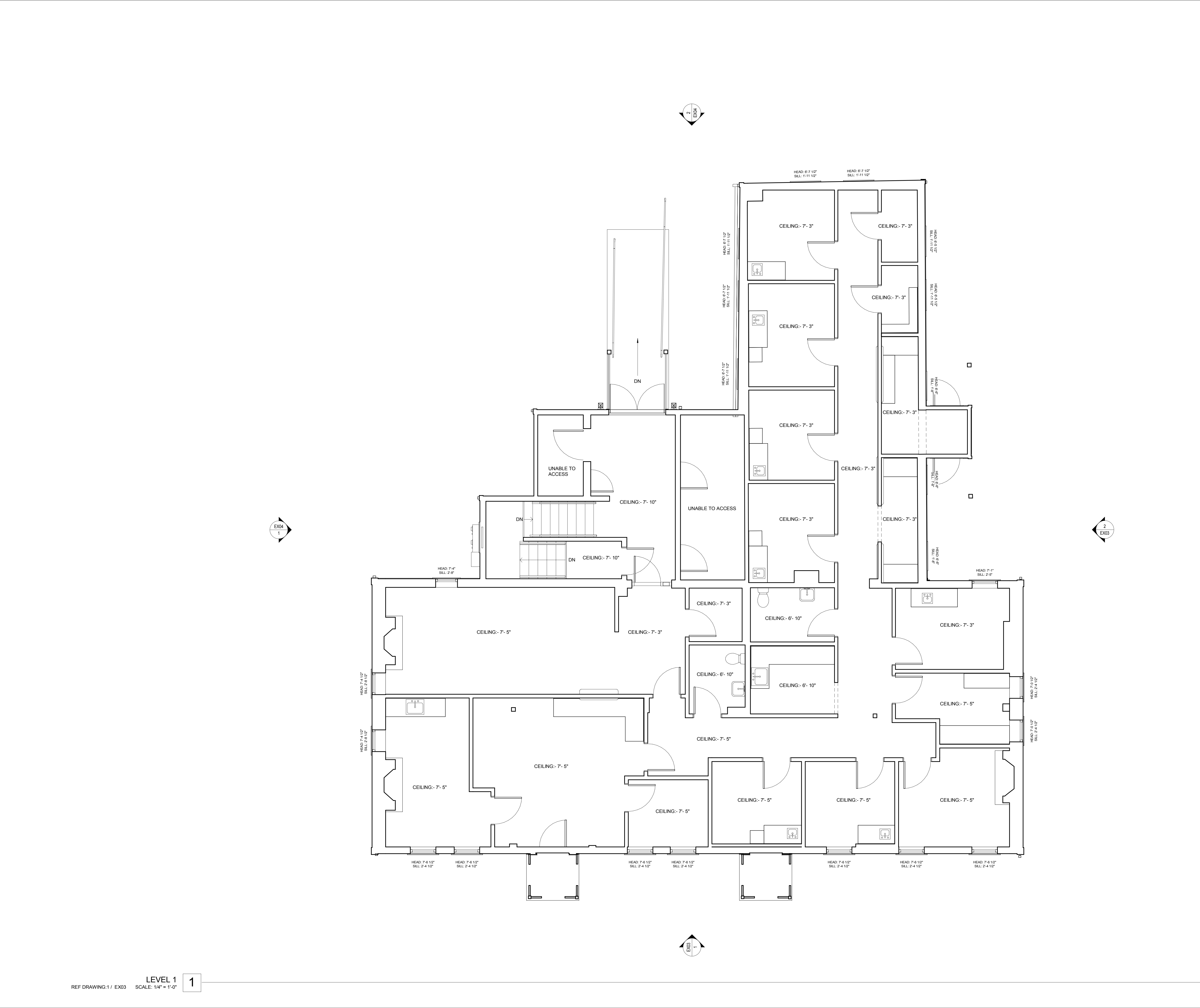
Cover Sheet

Date: 1/4/2023

Scale:

Drawn By: EC

EX00



LEVEL 1  
REF DRAWING: 1/ EX03  
SCALE: 1/4" = 1'-0"

1

Gross Area Schedule	
Level	Area
LEVEL 1	3,639 SF
Not Placed	0 SF
Total	3,639 SF

Forge Village Rd

1 Forge Village Road  
Groton, MA

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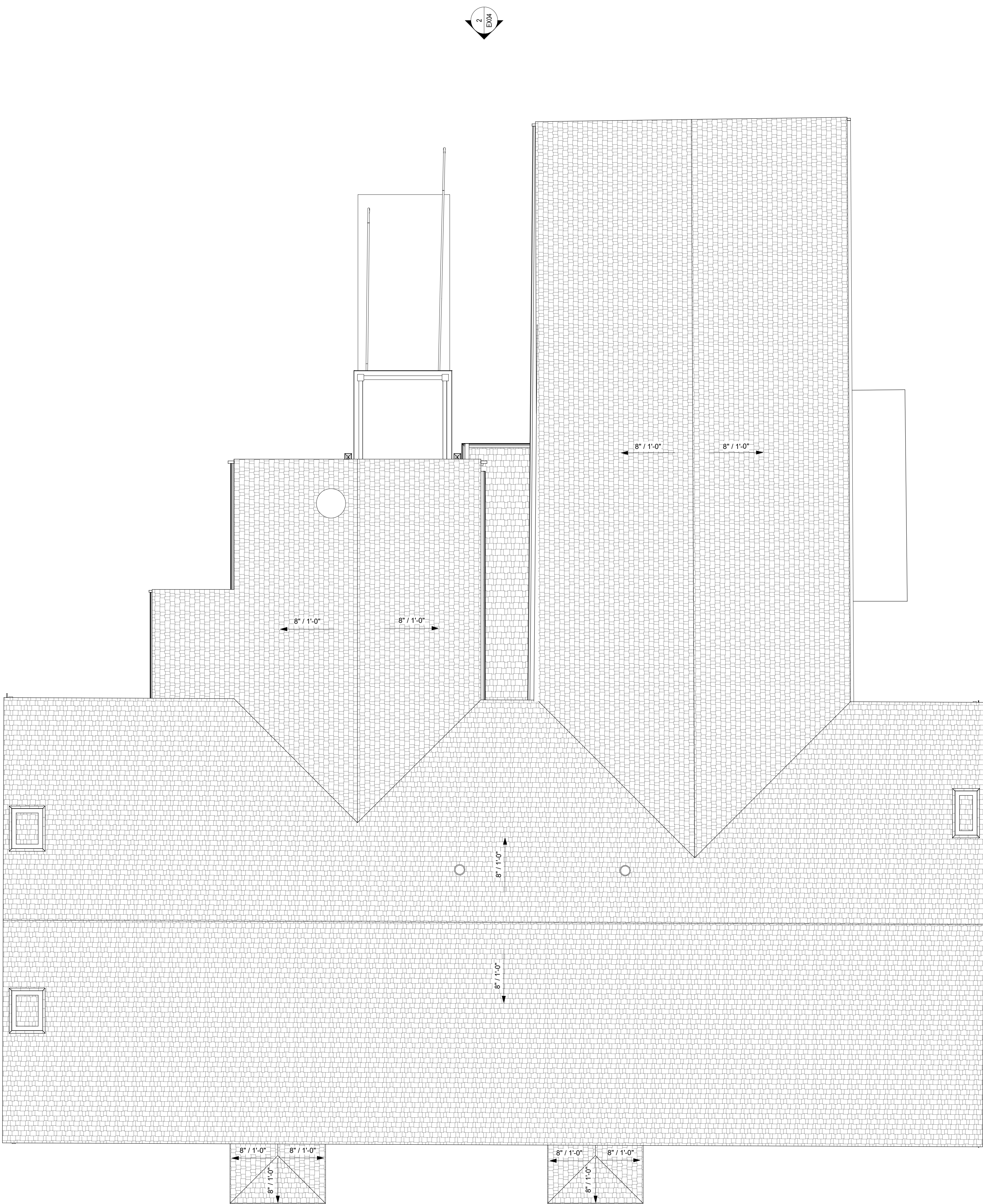
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Project Number: 10781812910

Existing Level 1  
Floor Plan

Date: 1/4/2023  
Scale: 1/4" = 1'-0"  
Drawn By: EC

EX01



TOP OF ROOF  
SCALE: 1/4" = 1'-0"

1

Forge Village Rd

1 Forge Village Road  
Groton, MA

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Project Number: 10781812910

**Existing Roof  
Plan**

Date: 1/4/2023

Scale: 1/4" = 1'-0"

Drawn By: EC

**EX02**



Southeast Elevation  
REF DRAWING: 1 / EX01 SCALE: 1/4" = 1'-0"

2



Southwest Elevation  
REF DRAWING: 1 / EX01 SCALE: 1/4" = 1'-0"

1

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Project Number: 10781812910

Existing Exterior  
Elevations

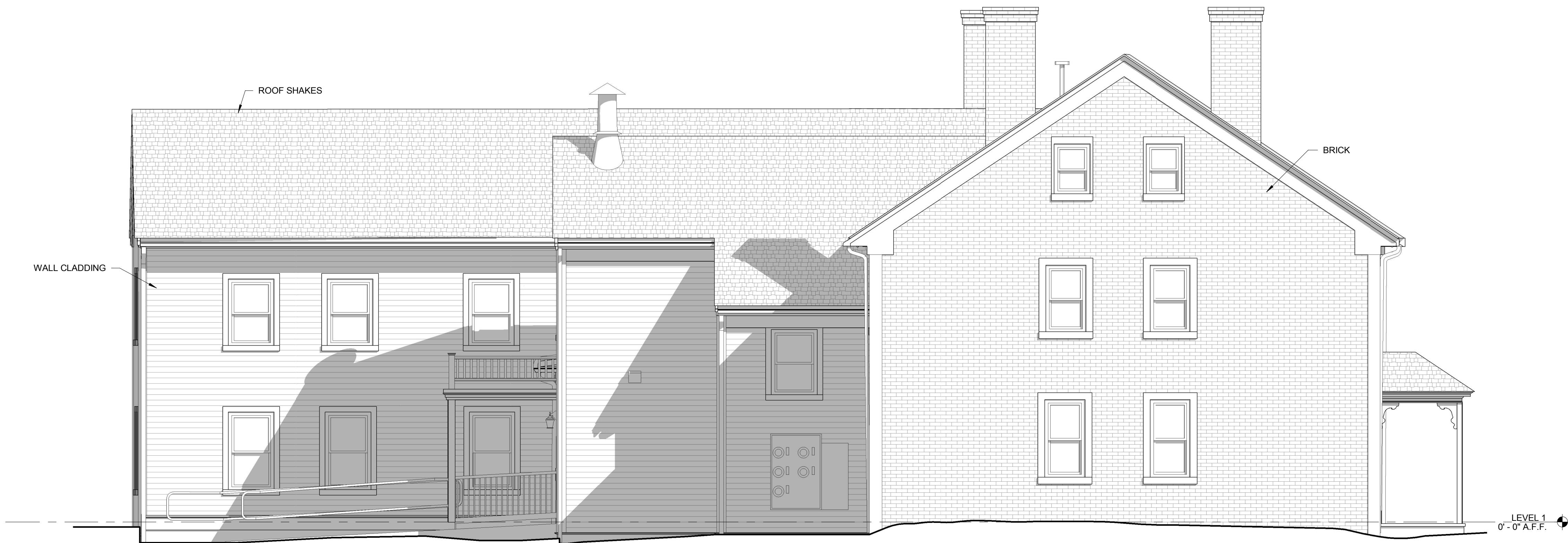
Date: 1/4/2023  
Scale: 1/4" = 1'-0"  
Drawn By: EC

EX03



Northeast Elevation  
REF DRAWING: 1 / EX01 SCALE: 1/4" = 1'-0"

2



Northwest Elevation  
REF DRAWING: 1 / EX01 SCALE: 1/4" = 1'-0"

1

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Project Number: 10781812910

**Existing Exterior  
Elevations**

Date: 1/4/2023  
Scale: 1/4" = 1'-0"  
Drawn By: EC

**EX04**





TAG	DESCRIPTION
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**AD100**

SHEET INDEX

- C1.1 TITLE SHEET
- C2.1 EXISTING CONDITIONS PLAN
- C3.1 SITE LAYOUT, TRAFFIC PATTERN, AND UTILITIES
- C4.1 GRADING AND DRAINAGE PLAN
- C5.1 STORMWATER POLLUTION PREVENTION PLAN
- C6.1 CONSTRUCTION DETAILS
- C6.2 CONSTRUCTION DETAILS
- C6.3 CONSTRUCTION DETAILS
- AS.101 LANDSCAPE PLAN
- COOPER LIGHTING PHOTOMETRIC PLAN

SITE DATA

LOT AREA:	1.71± AC. (74,282 SF)
WATER SUPPLY:	ON-SITE WELL (PROP. MUNICIPAL)
SEWAGE DISPOSAL:	ON-SITE SEWAGE DISPOSAL SYSTEM
ZONING DISTRICT:	BUSINESS B-1
OVERLAY DISTRICT:	WRPD III
DEP DISTRICT:	NON-COMMUNITY IWPA HAS BEEN REMOVED

SPECIAL PERMIT

CHAPTER 21B SECTION 21B-30. WATER RESOURCE PROTECTION OVERLAY DISTRICTS

WATER RESOURCE PROTECTION DISTRICT III (WRPD III)

21B-30.E.2 PRINCIPAL USES (k): ANY BUILDING, STRUCTURE OR USE, EXCEPT SINGLE FAMILY DWELLING, TO BE SERVED BY ON-SITE WASTEWATER DISPOSAL SYSTEM WITH A DESIGN CAPACITY OF GREATER THAN 10,000 GALLONS PER DAY OR DESIGN CAPACITY OF 110 GALLONS PER DAY OF WASTEWATER PER 10,000 SQ. FT. OF LOT AREA AS REQUIRED BY 310 CMR 15.00

21B-30.E.2 ACCESSORY USES (a): UNDERGROUND STORAGE OF HAZARDOUS MATERIALS, INCLUDING OIL AND GASOLINE IN A WRPD III.

21B-30.E.2ACCESSORY USES (b): ABOVEGROUND STORAGE OF HAZARDOUS MATERIALS IN QUANTITIES GREATER THAN ASSOCIATED WITH NORMAL HOUSEHOLD USE, OTHER THAN FUEL OIL FOR RESIDENTIAL HEATING PURPOSES IN A WRPD III.

PLAN REFERENCES

- "COUNTY LAYOUT FOR ROUTE 225" DATED: 1925.
- "WATER RESOURCE PROTECTION DISTRICT MAP, MASS GIS 2002" FOR THE TOWN OF GROTON, MA
- "SUBSURFACE SEWAGE DISPOSAL SYSTEM, NEW CONSTRUCTION, CONSTRUCTION RECORD DRAWING" 785 BOSTON ROAD, GROTON, MA, PREPARED FOR SAMANTHA'S REALTY TRUST LLC, BY GOLDSMITH, PREST AND RINGWALL, INC. DATED JANUARY 2005, REVISED THROUGH 01/27/05, JOB NO. 03214
- "SUBSURFACE SEWAGE DISPOSAL SYSTEM, NEW CONSTRUCTION" 785 BOSTON ROAD, GROTON, MA. PREPARED FOR SAMANTHA'S REALTY TRUST LLC, BY GOLDSMITH, PREST AND RINGWALL, INC. DATED MAY 2005. JOB NO. 03214A.

ASSESSORS REFERENCE

ASSESSORS MAP 133, LOT 11

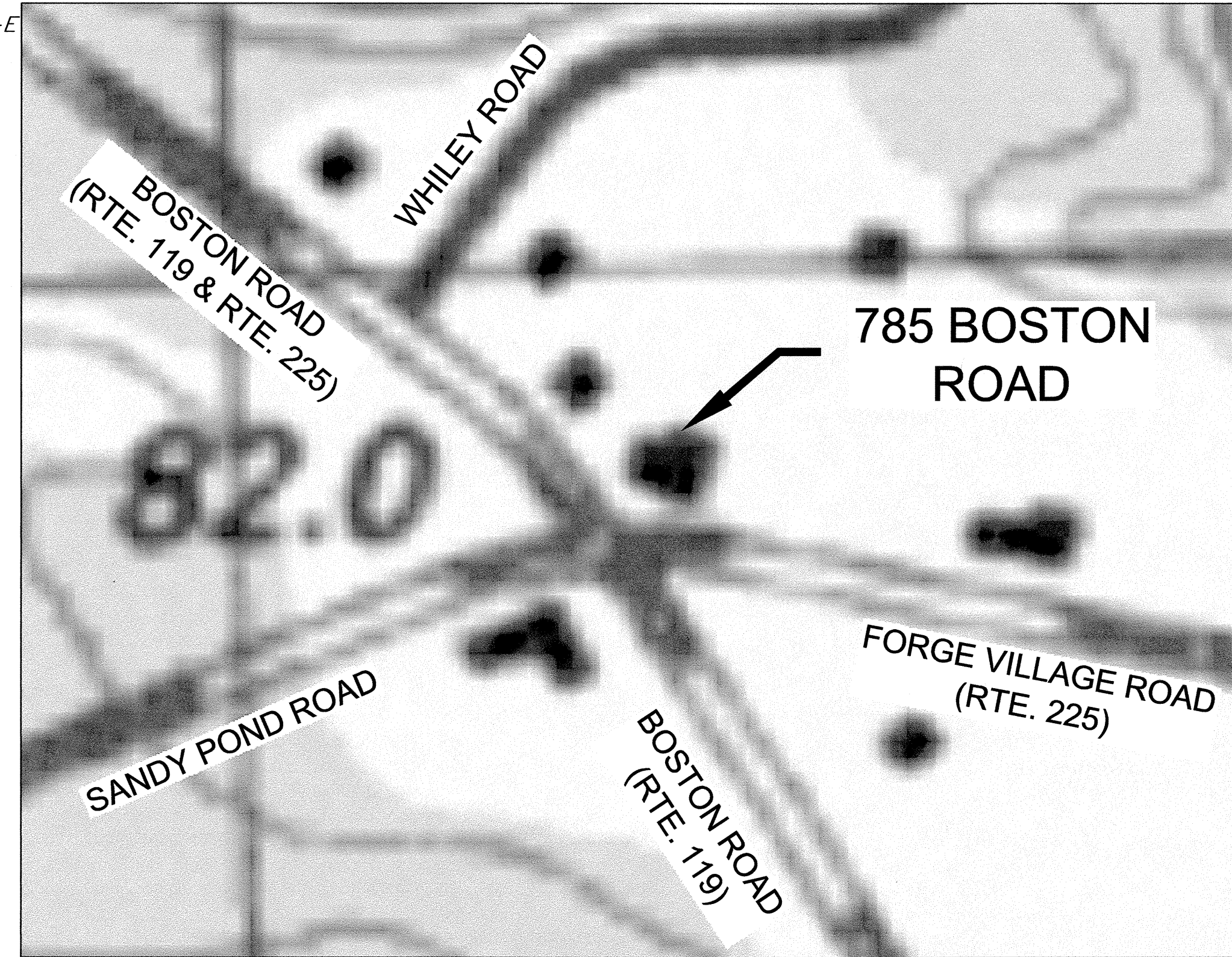
GENERAL NOTES

- LOCATIONS OF EXISTING UNDERGROUND UTILITIES/OBSTRUCTIONS/SYSTEMS SHOWN HEREON ARE APPROXIMATE ONLY. ALL UTILITIES/OBSTRUCTIONS/SYSTEMS MAY NOT BE SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES/OBSTRUCTIONS/SYSTEMS, WHETHER OR NOT SHOWN HEREON.
- UNLESS OTHERWISE SHOWN, ALL NEW UTILITIES SHALL BE UNDERGROUND.
- BURIED UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THEIR RESPECTIVE COMPANY SPECIFICATIONS.
- CONSTRUCTION LAYOUT OF BUILDING AND SITE IMPROVEMENTS SHALL BE PERFORMED BY A LICENSED PROFESSIONAL LAND SURVEYOR. LOCATIONS OF EXISTING FEATURES OR PROPOSED IMPROVEMENTS DERIVED BY SCALING DRAWINGS MAY NOT BE ACCURATE. PROPERTY LINES SHOWN HEREON ARE APPROXIMATE. SEE PLAN REFERENCE HEREON.
- SAFETY MEASURES, CONSTRUCTION METHODS, AND CONTROL OF WORK SHALL BE RESPONSIBILITY OF CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY EXISTING UTILITY OR STRUCTURE DAMAGED DURING CONSTRUCTION THAT ARE NOT DESIGNATED FOR DEMOLITION AND/OR REMOVAL HEREON. DAMAGED UTILITY OR STRUCTURE SHALL BE REPAIRED TO THE SATISFACTION OF THEIR RESPECTIVE OWNERS.
- ANY INTENDED REVISION OF THE HORIZONTAL AND/OR VERTICAL LOCATION OF IMPROVEMENTS TO BE CONSTRUCTED AS SHOWN HEREON SHALL BE REVIEWED AND APPROVED BY ENGINEER PRIOR TO IMPLEMENTATION.
- CONTRACTOR SHALL NOTIFY ENGINEER UPON COMMENCEMENT OF CONSTRUCTION IN ORDER TO ENSURE THAT REQUIRED INSPECTIONS ARE PERFORMED IN A TIMELY AND EFFICIENT MANNER.
- CONTRACTOR SHALL PROMPTLY NOTIFY ENGINEER UPON DISCOVERY OF ANY UNFORESEEN SURFACE OR SUBSURFACE CONDITIONS THAT MAY IMPACT SITE CONSTRUCTION.
- FINISH RIM ELEVATIONS SHOULD MATCH PAVEMENT, GRADING OR LANDSCAPING, UNLESS SPECIFICALLY INDICATED OTHERWISE.
- WHERE EXISTING UTILITY LINES/STRUCTURES ARE TO BE CUT/BROKEN DOWN/ABANDONED, LINES/STRUCTURES SHALL BE PLUGGED/CAPPED/FILLED IN ACCORDANCE WITH UTILITY OWNER REQUIREMENTS.
- EROSION CONTROL MEASURES, SUCH AS SILT FENCE OR HAY BALES AS MAY BE SHOWN HEREON, SHALL BE INSTALLED BEFORE EARTH DISTURBANCE OCCURS WITHIN BUFFER ZONE, AND SHALL SERVE AS THE LIMIT OF WORK.
- WHERE THE WORD "INSTALL" IS USED HEREIN, IT IS INTENDED TO DIRECT CONTRACTOR TO "FURNISH, INSTALL, AND PLACE IN OPERATION" THE COMPONENT REFERRED TO.
- LIMITS OF WORK SHALL BE STAKED IN THE FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL STORM DRAIN PIPE TO BE SMOOTH INTERIOR HDP PIPE, 2.0 PSI GASKETED JOINT, UNLESS OTHERWISE NOTED.
- WHERE SHOWN, CONSTRUCTION NOTES ARE INTENDED TO SUMMARIZE AND CLARIFY MAJOR ITEMS OF WORK. THESE NOTES SHOULD NOT BE CONSTRUED AS AN EXHAUSTIVE LISTING OF ALL WORK REQUIRED. CONTRACTOR SHOULD CONTACT ENGINEER WHEN FURTHER CLARIFICATION OF DEPICTED WORK IS DESIRED.
- CONSTRUCTION OF FIRE AND DOMESTIC WATER SUPPLY IMPROVEMENTS SHALL CONFORM TO TOWN OF GROTON REQUIREMENTS.
- WHERE DIMENSIONS INVOLVE CURB, DIMENSIONS ARE TO FACE OF CURB. WHERE SLOPED GRANITE CURB OR CAPE COD BERM SPECIFIED, FACE OF CURB IS EDGE OF FINISH PAVEMENT AT TOE OF CURB.
- NO DEBRIS, JUNK, RUBBISH OR OTHER NON-BIODEGRADABLE MATERIALS, FILL CONTAINING HAZARDOUS MATERIALS OR WASTES, OR STUMPS SHALL BE BURIED ON ANY LAND ON THIS SITE, OR LEFT ON ANY LOT OR ON THE STREET RIGHT OF WAY.
- TOWN OF GROTON WATER DEPARTMENT'S RULES AND REGULATIONS, AND MATERIALS AND INSTALLATION SPECIFICATIONS WILL GOVERN THE WATER UTILITY PORTIONS OF WORK HEREIN.
- ALL EXTERNAL DISCONNECTS FOR UTILITIES SHALL BE LOCKED.
- EXCEPT FOR HANDICAPPED SPACES, NO PARKING SPACES WILL BE EXCLUSIVELY RESERVED FOR INDIVIDUAL OR BUSINESS USE.

REGULATORY NOTES

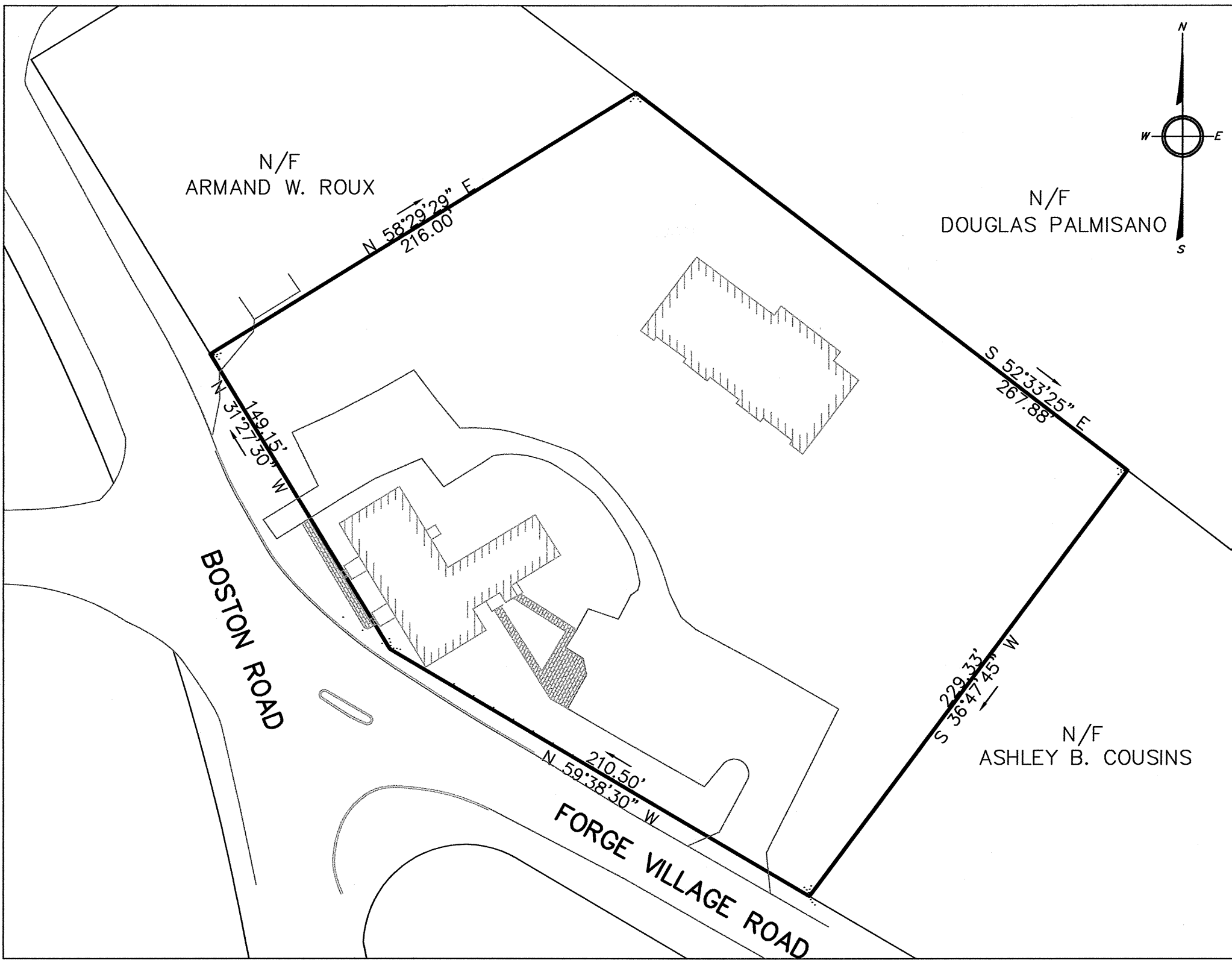
- CONTRACTOR SHALL CONTACT DIG-SAFE FOR UNDERGROUND UTILITY MARKING AT 888.344.7233 AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL GIVE TWENTY-FOUR (24)-HOUR NOTICE TO PERTINENT TOWN DEPARTMENTS BEFORE COMMENCING ANY WORK IN THE FIELD.
- CONTRACTOR SHALL COORDINATE AND OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY REGULATORY AUTHORITIES.
- CONTRACTOR SHALL BE AWARE OF ALL CONSTRUCTION REQUIREMENTS, CONDITIONS, AND LIMITATIONS IMPOSED BY PERMITS AND APPROVALS ISSUED BY REGULATORY AUTHORITIES PRIOR TO COMMENCEMENT OF ANY WORK.
- ALL WORK OUTSIDE OF BUILDING THAT IS LESS THAN 10 FEET FROM THE INSIDE FACE OF BUILDING FOUNDATION SHALL CONFORM WITH THE UNIFORM STATE PLUMBING CODE OF MASSACHUSETTS, 24B CMR 2.00.

PERMIT PLAN  
785 BOSTON ROAD  
GROTON, MA



VICINITY MAP

SCALE: 1" = 100'



PLOT PLAN

SCALE: 1" = 50'

ZONING

Parameter	Section [1]	Requirement	Remarks
Zoning District	21B-8	B-1	Business District
Overlay District	21B-30	see Note [2]	DEP Zone 3
Proposed Use	21B-13	allowed	Commercial Building: Retail, Food Service, Office
Lot Area	21B-20	none	No minimum for nonresidential uses
Frontage	21B-20	none	No minimum for nonresidential uses
Lot Width	21B-22-K	see Note [3]	
Yard			
Front	21B-20	50 FT	
Side	21B-20	15 FT	
Rear	21B-20	15 FT	
Building Height	21B-20	35 FT, 3 stories	
Building Coverage	21B-20	25%	Maximum Lot Coverage
Floor Area Ratio		none	
Open Space	345A-2A.(4)		25% Minimum for lots< 3 acres
Parking	21B-23	Consult Parking Computations Table [4]	
Wetlands Setback	local bylaw	200' rivers; 100' wetlands	Chapter 215 (none on site)
MDER Riverfront Area			none on site
FEMA Floodplain			Zone C (Area of minimal flooding)
ACEC			none on site
Zone 1 Protective Radius			none on site
Mapped Zone 2			none on site
IWPA			within mapped zone

NOTES:

[1] Reference to section of Zoning Bylaw, where applicable.

[2] Section 21B-30 Water Resource Protection District III (WRPD III).

[3] Not less than the frontage requirement shall be maintained for 50 FT measured perpendicular to a straight line connecting the 2 front lot corners, and at no point within the area from the front yard depth to principal dwelling shall the distance between the side lot lines be < 75% of minimum required frontage.

[4] Section 21B-23B: Minimum parking requirements  
Section 21B-23C: Required parking must be located on same premises as the activity it serves. Each parcel shall be credited with 10 on-street parking spaces if the parcel is served by the existing curb and sidewalk system (this on-street parking does not qualify as meeting parking requirements for Section 21B-25A). Off-street parking, loading areas and access drives (if involving 6 or more parking spaces) shall be treated with bituminous or other paving material and illumination shall be arranged and screened if necessary to deflect light away from adjoining lots and abutting streets. Parking areas with 6 or more spaces to be designed so that no vehicle will be required to back into a public way to exit from space. At least 5% of the interior of any parking lot having 20 or more spaces shall be maintained with landscaping, including trees, in plots of at least 4 FT in width.

ABBREVIATIONS:  
SF=square feet; CF=cubic feet; FT=feet; GFA=gross floor area; AC=acres; PB=Planning Board;  
ZBA=Zoning Board of Appeals; IWPA=interim wellhead protection area; ACEC=Area of Critical Environmental Concern; FIRM=Flood Insurance Rate Map; MDER=Massachusetts Dept of Environmental Protection

PARKING COMPUTATIONS

USE	FORMULA	VARIABLE	REQUIRED SPACES	EXISTING SPACES	PROPOSED SPACES
Restaurant	5 minimum, plus 1 space per 2 seats	44 seats	27	0	27
Office	2 spaces plus 1 space per 180 SF GFA	6,680 SF	40	App 22	40
Salon (other service est.)	5 minimum, plus 1 space per 250 SF GFA	3,000 SF	17	0	17
TOTAL			84	22	84

LANDSCAPING

FORMULA FOR LOTS CONTAINING 25 OR MORE PARKING SPACES:

5% of parking area shall be maintained with landscaping  
1 tree per 8 spaces with 60 SF of landscaped area per tree

REQUIRED	PROPOSED
1,700 SF Landscaped Area 11 Trees with 637 SF Landscaped Area	> 1,700 SF Landscaped Area > 20 Trees with > 1,700 SF Landscaped Area

NOTES:

- See Zoning Bylaw section 345A-1 through 345A-3
- Parking and Landscape Requirements are unaffected by change in building use.

ABBREVIATIONS:

SF=Square Feet, GFA=Gross Floor Area, App.= Approximate, >=Greater than

COVERAGE COMPUTATIONS

PARAMETER	AREA (ACRES)	AREA (SQUARE FEET)	FRACTION OF TOTAL LOT AREA (%)
EXISTING CONDITION			
Lot Area	1.71	74,282	100%
Building Footprint	0.08	3,361	4.5%
Other Impervious Area	0.25	10,954	14.7%
Total Impervious Coverage	0.33	14,315	19.3%
Existing Open Space	1.37	59,967	80.7%
PROPOSED CONDITION			
Lot Area	1.71	74,282	100%
Building Footprint	0.16	6,918	9%
Other Impervious Area	0.68	29,502	40%
Total Impervious Coverage	0.84	36,420	49%
Proposed Open Space	0.87	37,862	51%

SURVEY NOTES:

- OFFSETS ARE NOT FOR THE REPRODUCTION OF PROPERTY LINES.
- SEE PLAN # 40 OF 1971, MIDDLESEX NORTH DISTRICT REGISTRY OF DEEDS
- THE RESPONSIBILITY OF THE PROFESSIONAL LAND SURVEYOR IS LIMITED TO LOT BOUNDARY AND EXISTING TOPOGRAPHIC DATA ONLY



Peter Lothian  
5-23-2005  
PROFESSIONAL LAND SURVEYOR

APPROVED BY THE  
GROTON PLANNING BOARD

CHAIR \_\_\_\_\_  
APPLICATION FILED \_\_\_\_\_  
HEARING DATE \_\_\_\_\_  
PLAN APPROVED \_\_\_\_\_  
\_\_\_\_\_

THIS SITE PLAN APPROVAL DOES NOT NECESSARILY INDICATE COMPLIANCE WITH THE  
GROTON ZONING BYLAW

DRAWING ISSUED FOR:

- ☐ CONCEPT ☐ CONSTRUCTION  
☒ PERMIT ☐ CONSTRUCTION RECORD

THIS DRAWING IS NOT INTENDED TO SHOW  
CONSTRUCTION DETAILS AND  
SPECIFICATIONS FOR ALL PROPOSED  
IMPROVEMENTS, NOR IS IT INTENDED TO  
DEFINE ALL CONSTRUCTION CONTRACTOR  
RESPONSIBILITIES/AREAS OF JURISDICTION.

NO.	DATE	BY	APP.	REVISION DESCRIPTION
6.	05/19/05	MS	DEM	SPECIAL PERMIT/SITE PLAN REVIEW MODIFICATION
5.	05/17/04	MS	BNC	PER TOWN COMMENTS
4.	04/23/04	MS	BNC	PER TOWN COMMENTS
3.	3/26/04	NMP	BNC	PER TOWN COMMENTS
2.	03/18/04	MS	BNC	LOT CONFIGURATION
1.	02/20/04	MS	BNC	PER JNEI LETTER DATED 02/05/04

GPR

Engineering Solutions  
for Land & Structures

GOLDSMITH, PREST & RINGWALL, INC.

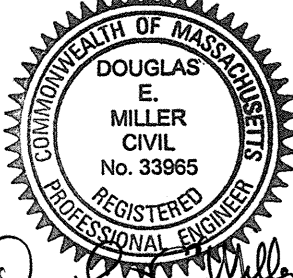
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COMMERCIAL DEVELOPMENT

TITLE SHEET

785 BOSTON ROAD  
GROTON, MA

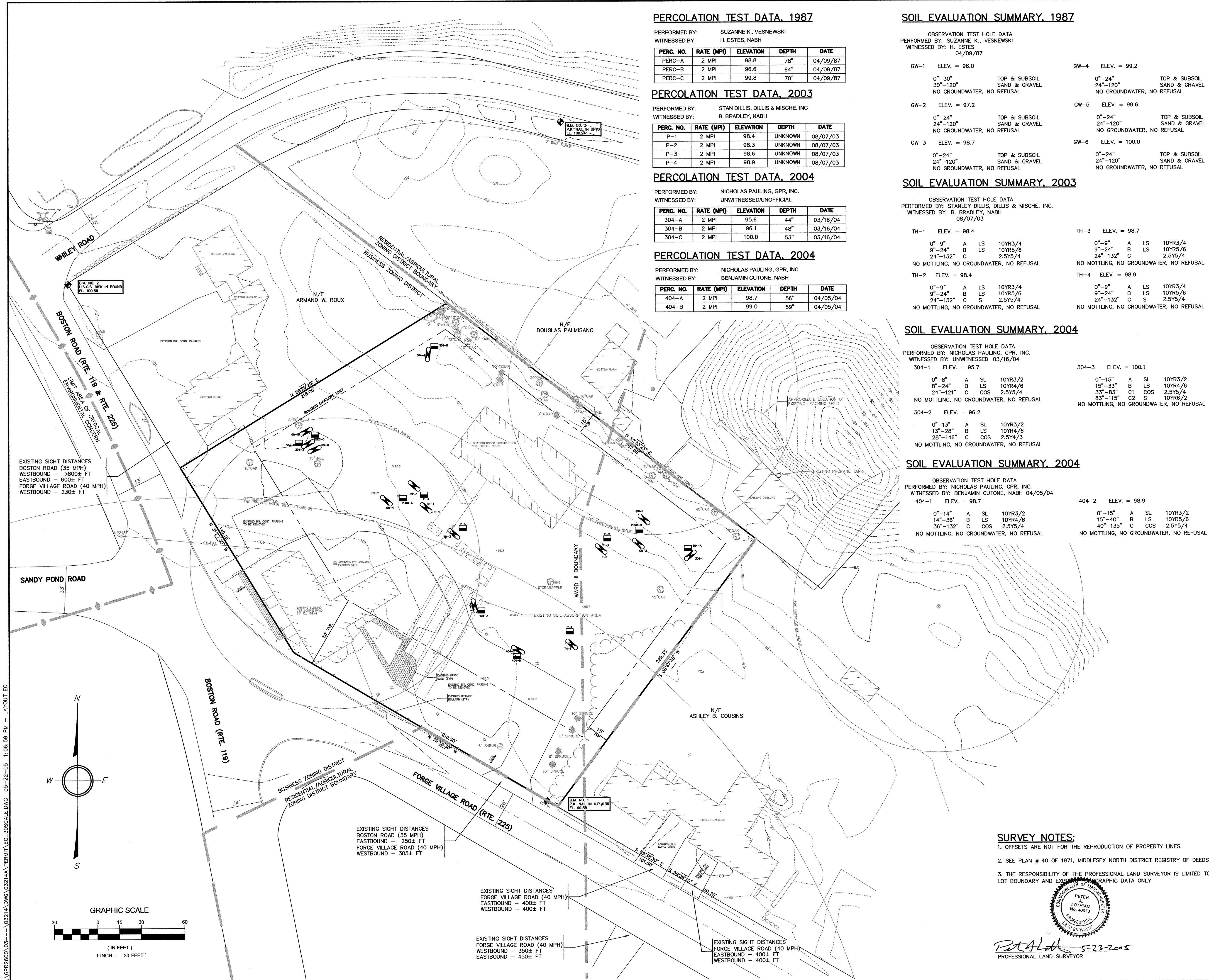
OWNER/APPLICANT:  
SAMANTHA REALTY TRUST LLC  
18 MAIN STREET  
TOWNSEND, MA



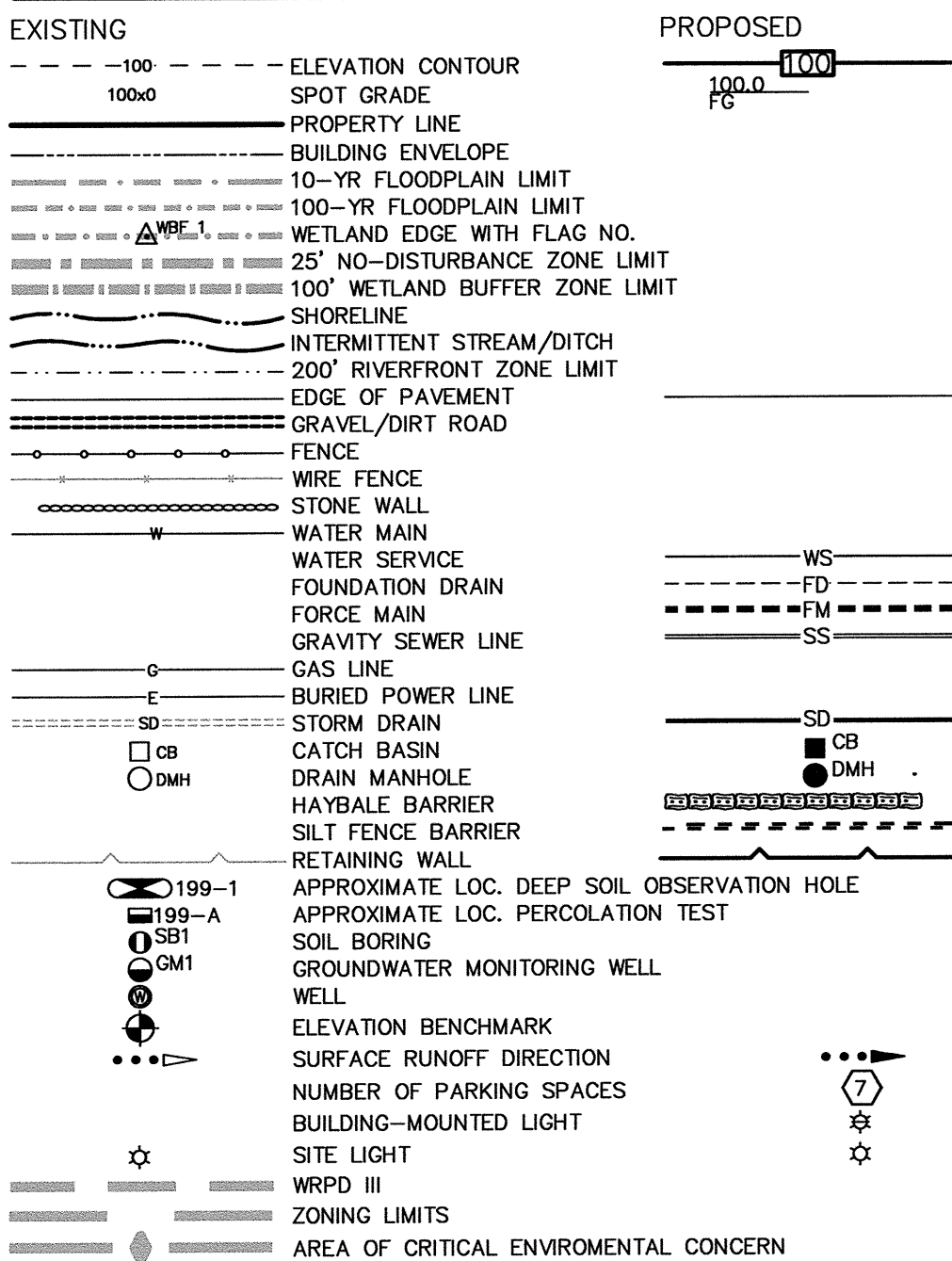
Douglas E. Miller  
5/23/05

DES. BY: MS	DATE: JANUARY 2004	JOB 03214	C1.1
CHK. BY: BNC			

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## LEGEND



## ABBREVIATIONS

TP	TOP OF PAVEMENT
TW	TOP OF WALL
FG	FINISH GRADE
FF	FIRST FLOOR
LL	LOWER LEVEL
BL	BOTTOM OF FOOTING
WRPD III	WATER RESOURCE PROTECTION DISTRICT ZONE III

## ELEVATION DATUM

DATUM: ASSUMED

## DRAWING ISSUED FOR:

- ☐ CONCEPT ☐ CONSTRUCTION  
☒ PERMIT ☐ CONSTRUCTION RECORD

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7.	05/19/05	MS	DEM	SPECIAL PERMIT/SITE PLAN REVIEW MODIFICATION
6.	05/17/04	MS	BNC	PER TOWN COMMENTS
5.	04/20/04	MS	BNC	ADDITIONAL SOIL TESTING
4.	3/26/04	NMP	BNC	PER TOWN COMMENTS
3.	03/18/04	MS	BNC	LOT CONFIGURATION/SOIL TESTING
2.	03/03/04	MS	BNC	ADDITIONAL 200' TOPOGRAPHIC DATA
1.	02/20/04	MS	BNC	PER JNEI LETTER DATED 02/05/04
NO.	DATE	BY	APP.	REVISION DESCRIPTION

# GPR

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GOLDSMITH, PREST & RINGWALL, INC.

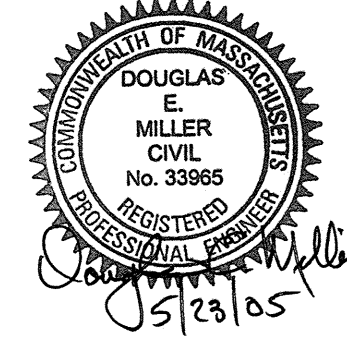
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## COMMERCIAL DEVELOPMENT

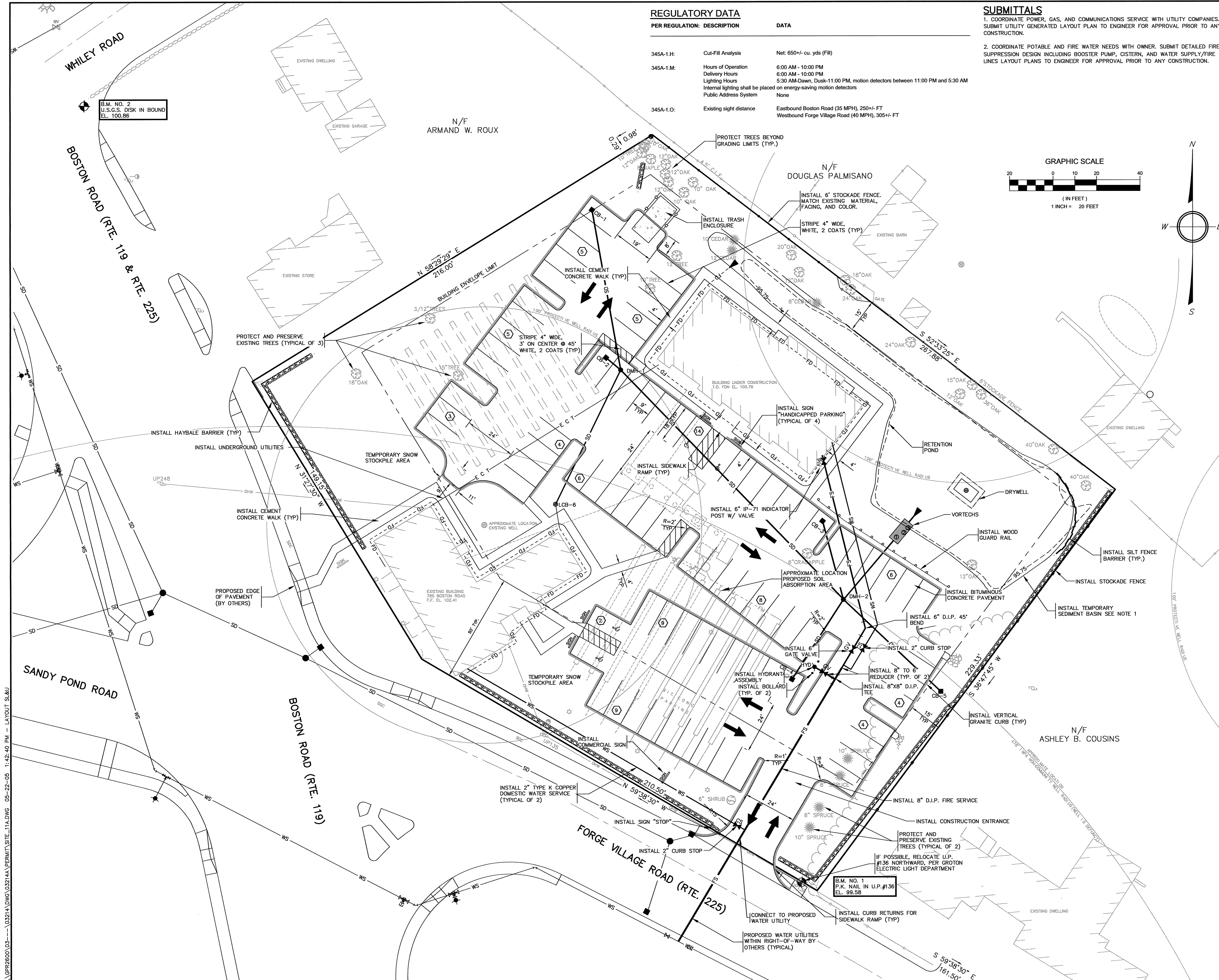
## EXISTING CONDITIONS PLAN

785 BOSTON ROAD  
GROTON, MA

OWNER/APPLICANT:  
SAMANTHA REALTY TRUST LLC  
18 MAIN STREET  
TOWNSEND, MA



DES. BY MS	DATE: JANUARY 2004	JOB 03214	C2.1
CHK. BY: BNC			



G:\GPR\2600\03-11-05\03214.DWG 03214A PERMIT SITE LAYOUT SL&L 05-22-05 1:42:40 PM - LAYOUT SL&L

REGULATORY DATA

PER REGULATION:	DESCRIPTION	DATA
345A-1.H:	Cut-Fill Analysis	Net: 650 +/- cu. yds (F#)
345A-1.M:	Hours of Operation	6:00 AM - 10:00 PM
	Delivery Hours	6:00 AM - 10:00 PM
	Lighting Hours	5:30 AM-Dawn, Dusk-11:00 PM, motion detectors between 11:00 PM and 5:30 AM
	Internal lighting shall be placed on	energy-saving motion detectors
	Public Address System	None
345A-1.O:	Existing sight distance	Eastbound Boston Road (35 MPH), 250 +/- FT Westbound Forge Village Road (40 MPH), 305 +/- FT

SUBMITTALS

- COORDINATE POWER, GAS, AND COMMUNICATIONS SERVICE WITH UTILITY COMPANIES. SUBMIT UTILITY GENERATED LAYOUT PLAN TO ENGINEER FOR APPROVAL PRIOR TO ANY CONSTRUCTION.
- COORDINATE POTABLE AND FIRE WATER NEEDS WITH OWNER. SUBMIT DETAILED FIRE SUPPRESSION DESIGN INCLUDING BOOSTER PUMP, CISTERN, AND WATER SUPPLY/FIRE LINES LAYOUT PLANS TO ENGINEER FOR APPROVAL PRIOR TO ANY CONSTRUCTION.

LEGEND

EXISTING	PROPOSED
100.0	100.0
SPOT GRADE	SPOT GRADE
PROPERTY LINE	PROPERTY LINE
BUILDING ENVELOPE	BUILDING ENVELOPE
10-YR FLOODPLAIN LIMIT	10-YR FLOODPLAIN LIMIT
100-YR FLOODPLAIN LIMIT	100-YR FLOODPLAIN LIMIT
WETLAND EDGE WITH FLAG NO. 1	WETLAND EDGE WITH FLAG NO. 1
25' NO-DISTURBANCE ZONE LIMIT	25' NO-DISTURBANCE ZONE LIMIT
100' WETLAND BUFFER ZONE LIMIT	100' WETLAND BUFFER ZONE LIMIT
SHORELINE	SHORELINE
INTERMITTENT STREAM/DITCH	INTERMITTENT STREAM/DITCH
200' RIVERFRONT ZONE LIMIT	200' RIVERFRONT ZONE LIMIT
EDGE OF PAVEMENT	EDGE OF PAVEMENT
GRAVEL/DIRT ROAD	GRAVEL/DIRT ROAD
FENCE	FENCE
STONE WALL	STONE WALL
WATER MAIN	WATER MAIN
WATER SERVICE	WATER SERVICE
FOUNDATION DRAIN	FOUNDATION DRAIN
FORCE MAIN	FORCE MAIN
GRAVITY SEWER LINE	GRAVITY SEWER LINE
GAS LINE	GAS LINE
BURIED POWER LINE	BURIED POWER LINE
STORM DRAIN	STORM DRAIN
CATCH BASIN	CATCH BASIN
DRAIN MANHOLE	DRAIN MANHOLE
HAYBALE BARRIER	HAYBALE BARRIER
SILT FENCE BARRIER	SILT FENCE BARRIER
RETAINING WALL	RETAINING WALL
APPROXIMATE LOC. DEEP SOIL OBSERVATION HOLE	APPROXIMATE LOC. DEEP SOIL OBSERVATION HOLE
APPROXIMATE LOC. PERCOLATION TEST	APPROXIMATE LOC. PERCOLATION TEST
SOIL BORING	SOIL BORING
GROUNDWATER MONITORING WELL	GROUNDWATER MONITORING WELL
WELL	WELL
ELEVATION BENCHMARK	ELEVATION BENCHMARK
SURFACE RUNOFF DIRECTION	SURFACE RUNOFF DIRECTION
NUMBER OF PARKING SPACES	NUMBER OF PARKING SPACES
BUILDING-MOUNTED LIGHT	BUILDING-MOUNTED LIGHT
SITE LIGHT	SITE LIGHT
UNDERGROUND UTILITIES	UNDERGROUND UTILITIES
TRAFFIC DIRECTION	TRAFFIC DIRECTION

ABBREVIATIONS

TP	TOP OF PAVEMENT
TW	TOP OF WALL
FG	FINISH GRADE
FF	FIRST FLOOR
LL	LOWER LEVEL
BF	BOTTOM OF FOOTING
WRPD III	WATER RESOURCE PROTECTION DISTRICT ZONE III

NOTES:

- EXCAVATE RETENTION POND TO FINISHED GRADE AS A TEMPORARY SEDIMENT BASIN DURING CONSTRUCTION. COMPLETE ADDITIONAL RETENTION POND EXCAVATION AND CONSTRUCTION AFTER SITE IS STABILIZED.

DRAWING ISSUED FOR:

<input type="checkbox"/> CONCEPT	<input type="checkbox"/> CONSTRUCTION
<input checked="" type="checkbox"/> PERMIT	<input type="checkbox"/> CONSTRUCTION RECORD

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NO.	DATE	BY	APP.	REVISION DESCRIPTION
8.	05/19/05	MS	DEM	SPECIAL PERMIT/SITE PLAN REVIEW MODIFICATION
7.	07/13/04	MS	BNC	PER MCD LETTER DATED 07/12/04
6.	07/06/04	MS	BNC	PER TOWN COMMENTS
5.	05/17/04	MS	BNC	PER TOWN COMMENTS
4.	04/26/04	MS	BNC	PER TOWN COMMENTS
3.	3/26/04	NMP	BNC	PER TOWN COMMENTS
2.	03/18/04	MS	BNC	LOT CONFIGURATION
1.	02/20/04	MS	BNC	PER JNEI LETTER DATED 02/05/04 & GROTON WATER DEPT. LETTER DATED 1/29/04

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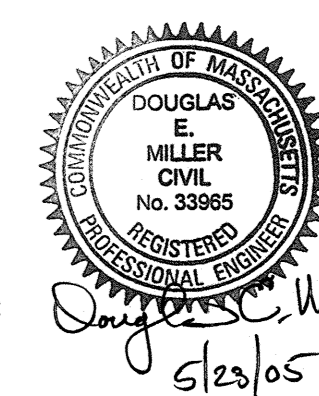
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COMMERCIAL DEVELOPMENT

SITE LAYOUT, TRAFFIC PATTERN, AND UTILITIES PLAN

785 BOSTON ROAD  
GROTON, MA

OWNER/APPLICANT:  
SAMANTHA REALTY TRUST LLC  
18 MAIN STREET  
TOWNSEND, MA

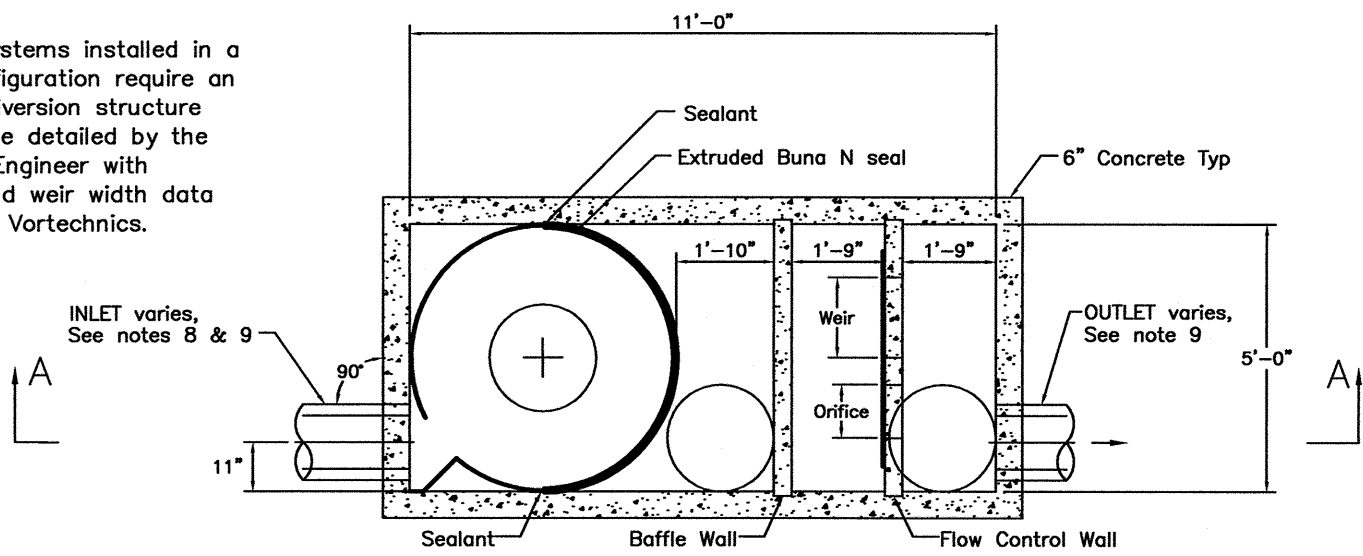


DES. BY: MS	DATE: JANUARY 2004	JOB 03214	C3.1
CHK. BY: BNC			



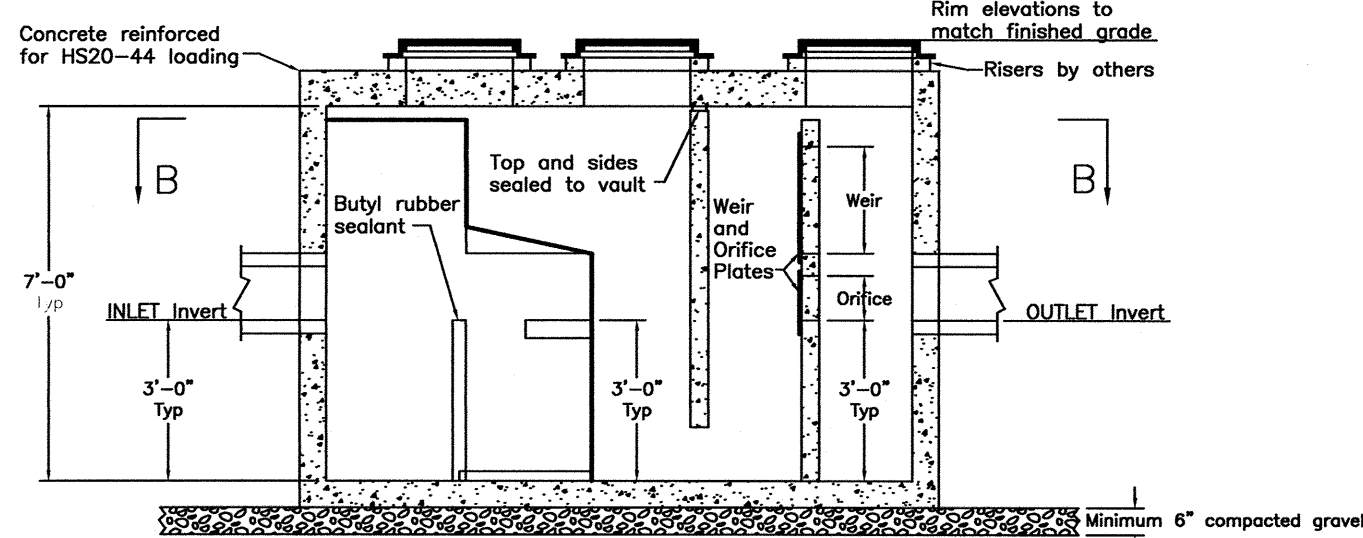


**NOTE:**  
Vortechs Systems installed in a bypass configuration require an upstream diversion structure that shall be detailed by the Consulting Engineer with elevation and weir width data provided by Vortechtechnics.



PLAN VIEW B-B

- Stormwater Treatment System (SWTS) shall have:  
Peak treatment capacity: 4.5 cfs  
Sediment storage: 1.75 cu yd  
Sediment chamber dia: 5.0' min  
2. SWTS shall remove 80% of the net annual TSS loading based on a 50 micron size particle



SECTION A-A

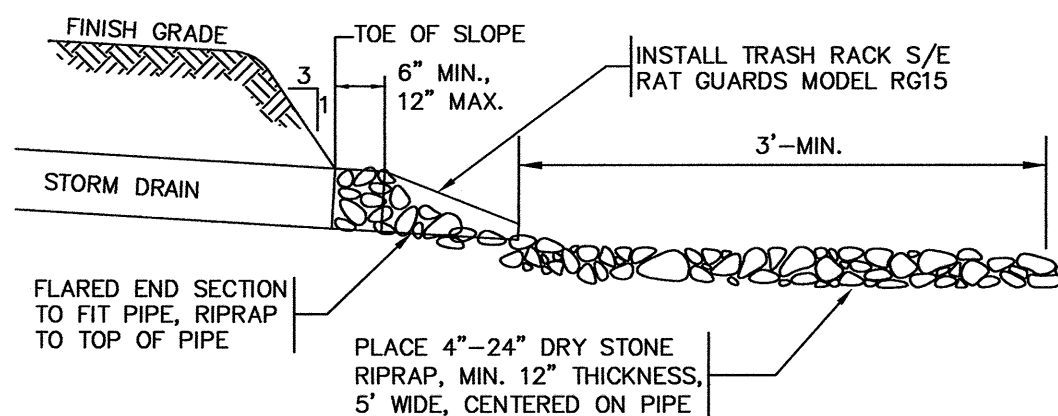
**NOTES:**

- Stormwater Treatment System (SWTS) shall have:  
Peak treatment capacity: 4.5 cfs  
Sediment storage: 1.75 cu yd  
Sediment chamber dia: 5.0' min  
2. SWTS shall be contained in one rectangular structure  
3. SWTS shall remove 80% of the net annual TSS loading based on a 50 micron size particle  
4. SWTS shall retain floatables and trapped sediment up to and including peak treatment capacity
- SWTS inverts in and out shall be at the same elevation
- SWTS shall not be compromised by effects of downstream tailwater
- SWTS shall have no internal components that obstruct maintenance access
- Inlet pipe must be perpendicular to the structure
- Pipe orientation may vary; see site plan for size and location
- Purchaser shall not be responsible for assembly of unit
- Manhole frames and perforated covers supplied with system, not installed
- Purchaser to prepare excavation and provide crane for off-loading & setting at time of delivery
- Contact Vortechtechnics @ (207) 885-9830 for ordering information

This CADD file is for the purpose of specifying stormwater treatment equipment to be furnished by Vortechtechnics, Inc. and may only be transferred to other documents exactly as provided by Vortechtechnics. Title block information, excluding the Vortechtechnics logo and the Vortechs Stormwater Treatment System designation and patent number, may be deleted if necessary. Revisions to any part of this CADD file without prior coordination with Vortechtechnics shall be considered unauthorized use of proprietary information.

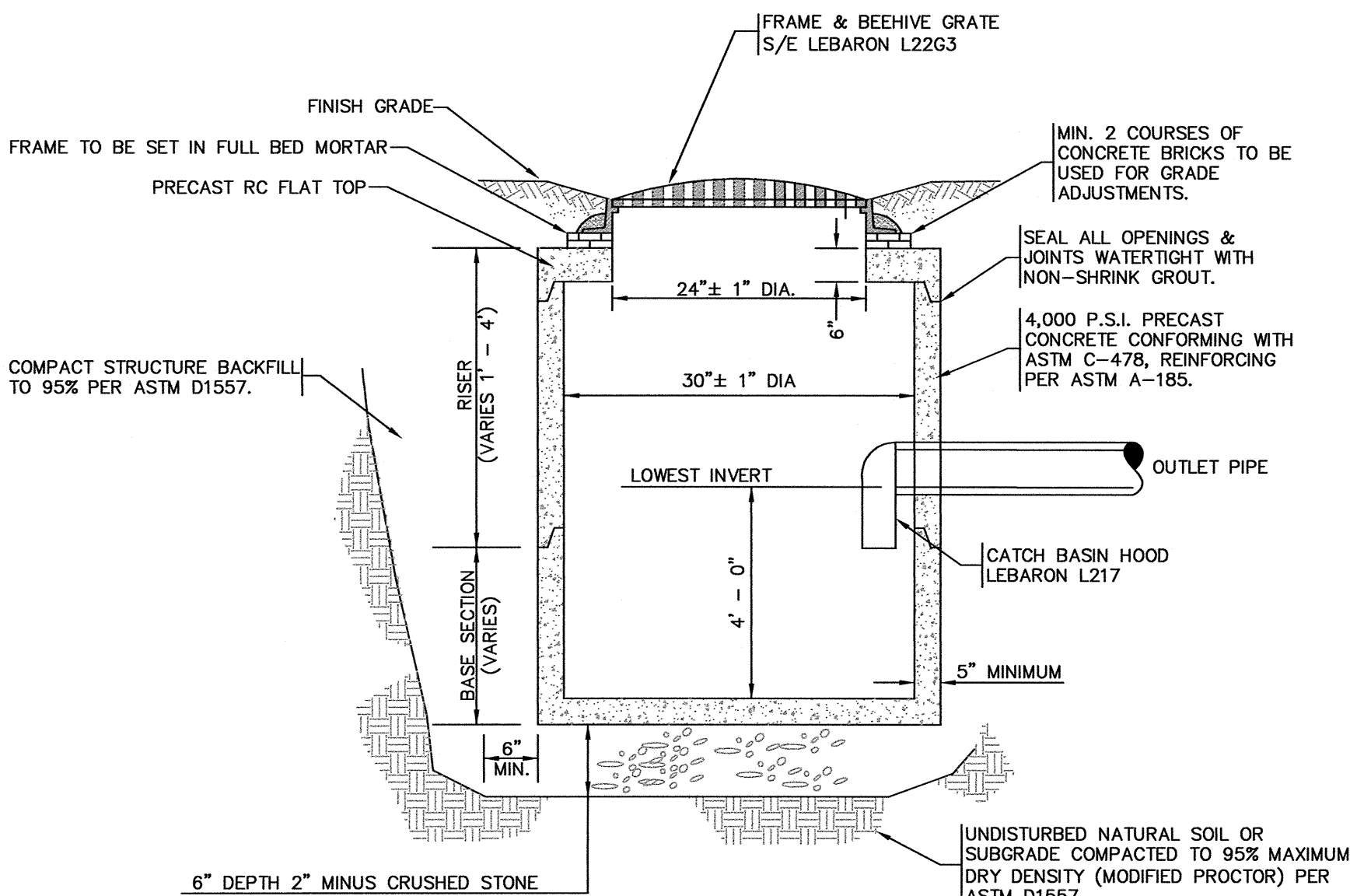
**STORMWATER TREATMENT SYSTEM  
VORTECHS® MODEL 3000**

STANDARD DETAIL  
U.S. PATENT NO. 5,759,415  
NOT TO SCALE



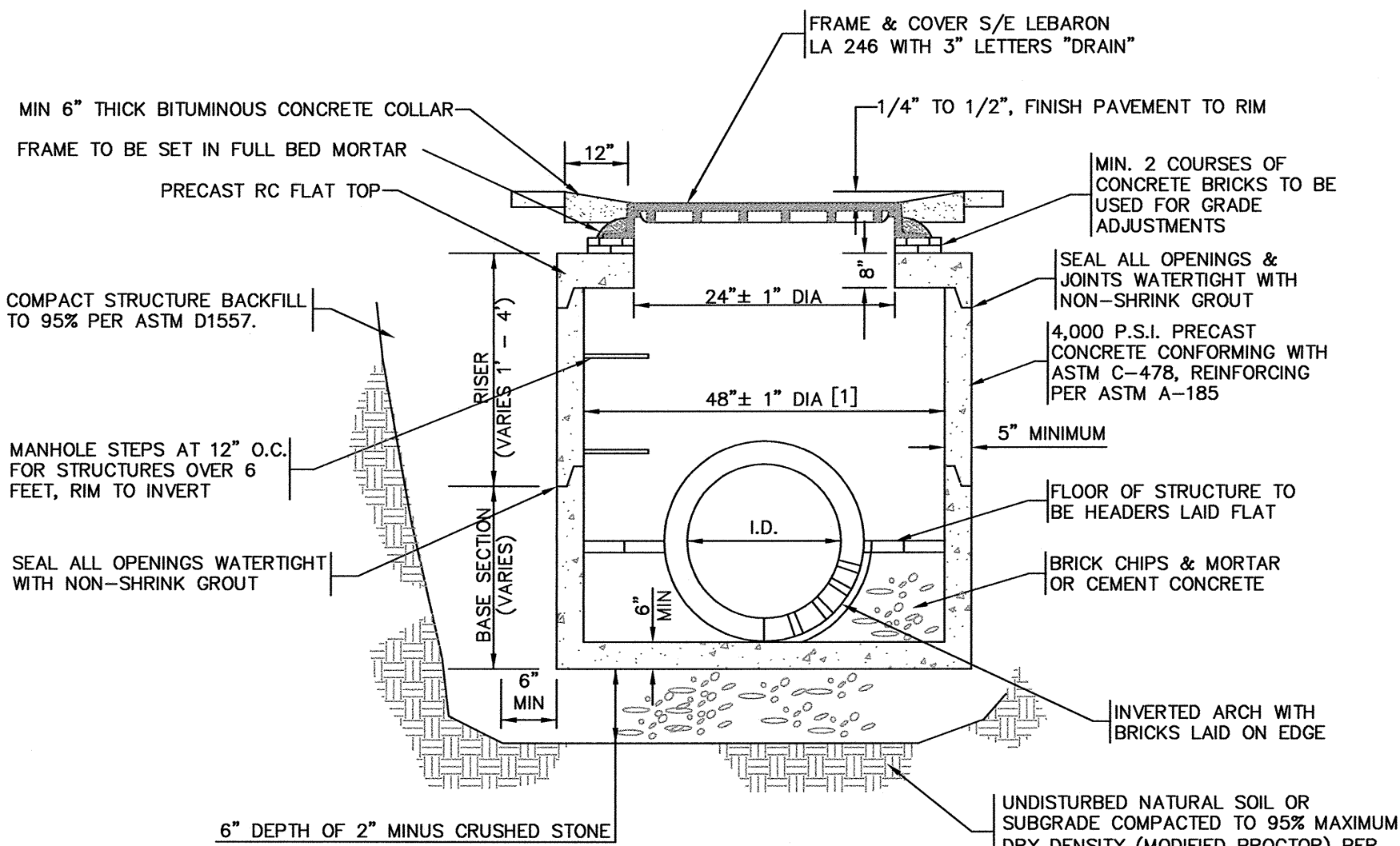
PIPE END

PROFILE  
NOT TO SCALE



LANDSCAPE CATCH BASIN NO. 6

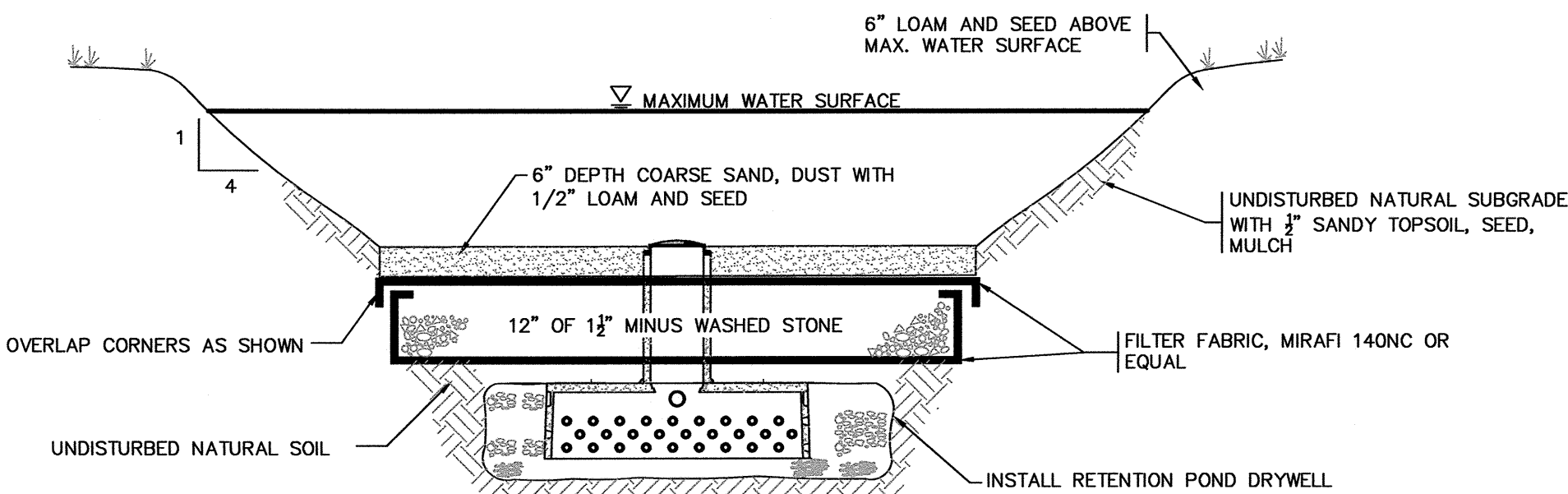
TYPICAL CROSS SECTION  
NOT TO SCALE



NOTES:  
[1] DMH-2 DIAMETER EQUALS 72"± 1".

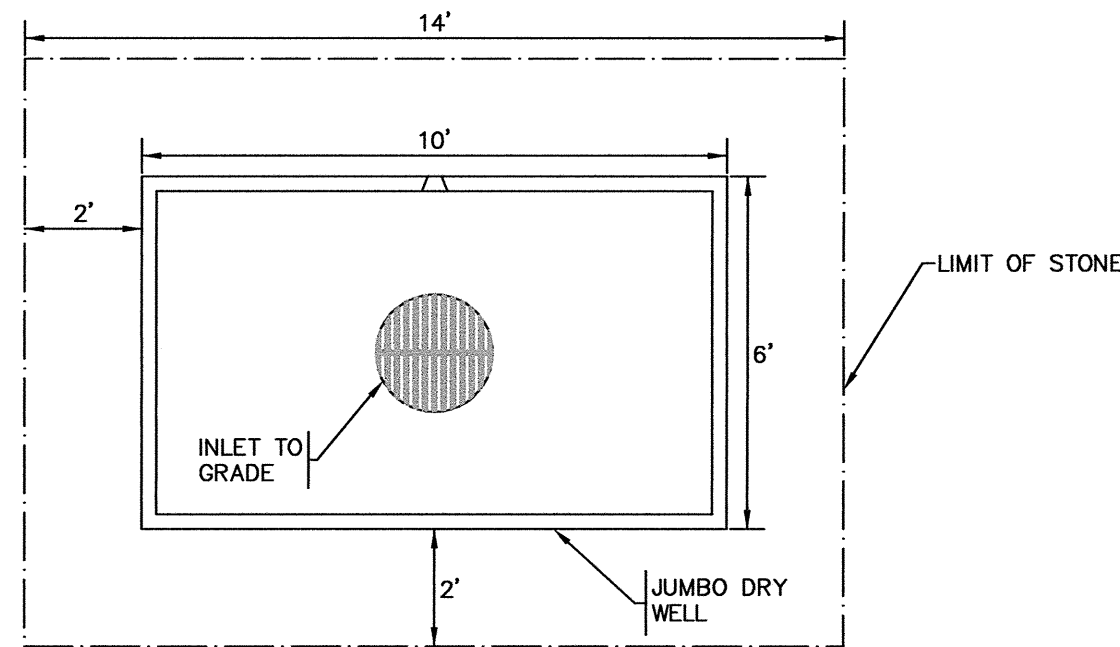
DRAIN MANHOLE

TYPICAL CROSS SECTION  
NOT TO SCALE

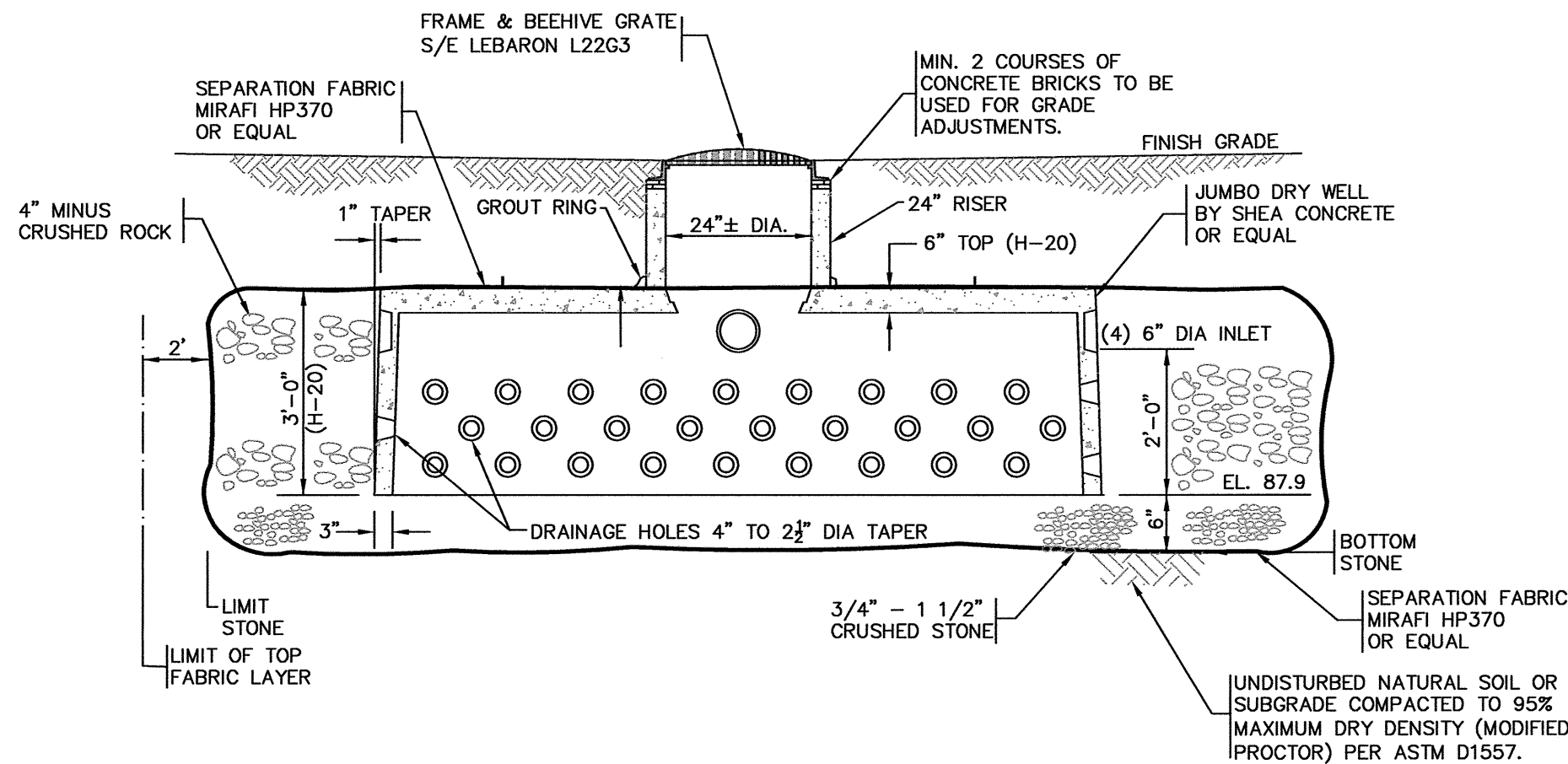


RETENTION POND SECTION

TYPICAL CROSS SECTION  
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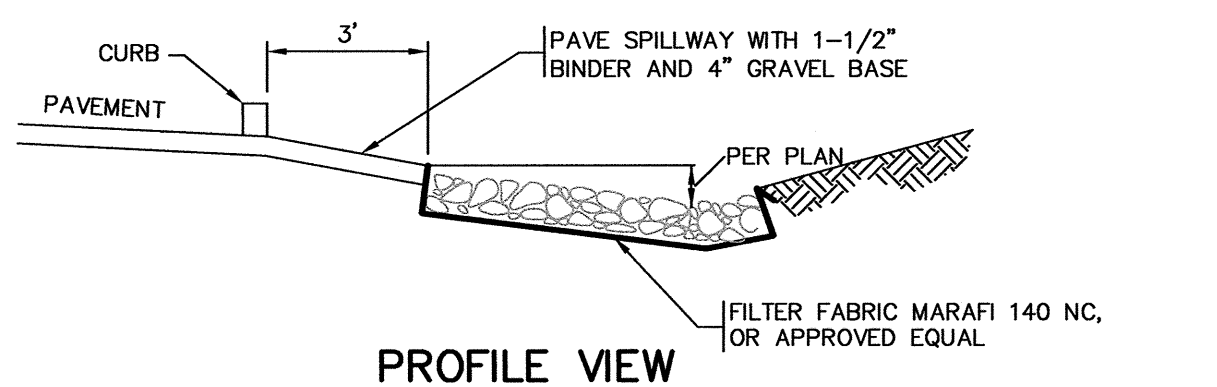
PLAN VIEW



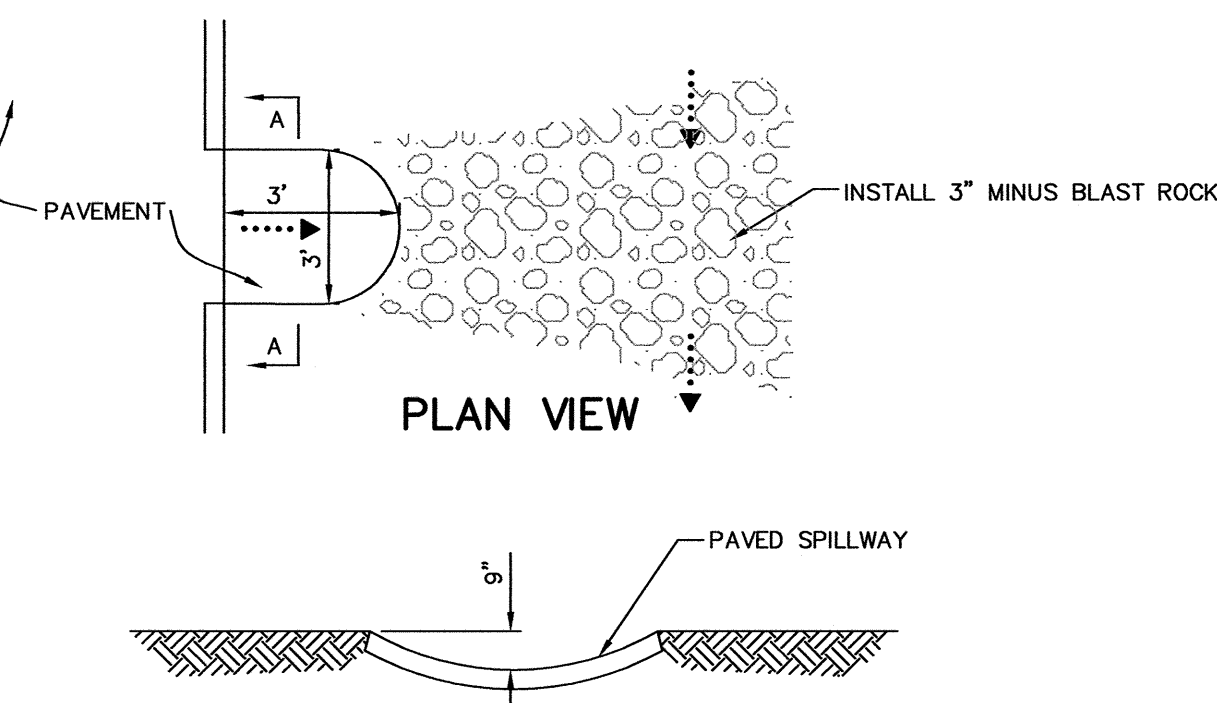
TYPICAL CROSS SECTION

RETENTION POND DRYWELL

NOT TO SCALE



PROFILE VIEW



PLAN VIEW

CROSS SECTION A-A

DRAINAGE CURB CUT

NOT TO SCALE

**DRAWING ISSUED FOR:**

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☒ PERMIT ☐ CONSTRUCTION RECORD

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4.	05/19/05	MS	DEM	SPECIAL PERMIT/SITE PLAN REVIEW MODIFICATION
3.	3/26/04	NMP	BNC	PER TOWN COMMENTS
2.	03/18/04	MS	BNC	LOT CONFIGURATION
1.	02/20/04	MS	BNC	PER JNEI LETTER DATED 02/05/04
NO.	DATE	BY	APP.	REVISION DESCRIPTION

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for Land & Structures

**GOLDSMITH, PREST & RINGWALL, INC.**

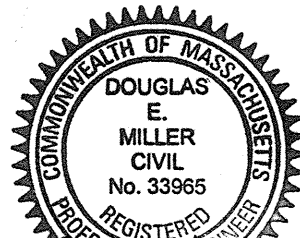
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**COMMERCIAL DEVELOPMENT**

**CONSTRUCTION DETAILS**

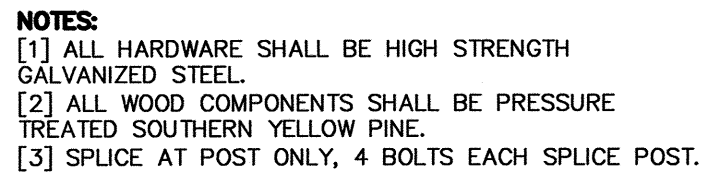
**785 BOSTON ROAD  
GROTON, MA**

OWNER/APPLICANT:  
SAMANTHA REALTY TRUST LLC  
18 MAIN STREET  
TOWNSEND, MA

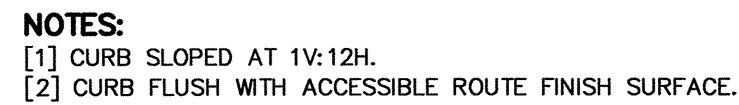


5/23/05

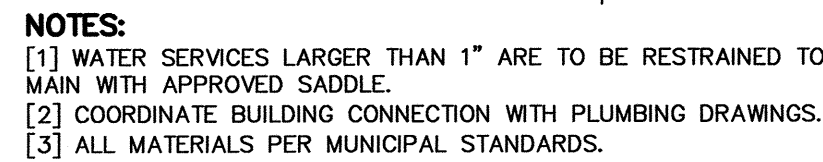
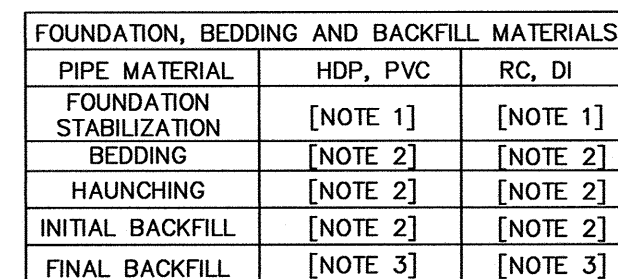
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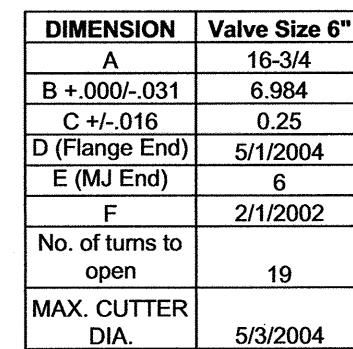
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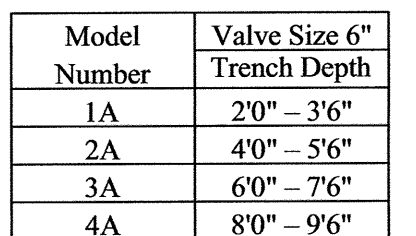
TYPICAL PLAN VIEW  
NOT TO SCALE



TYPICAL CROSS SECTION  
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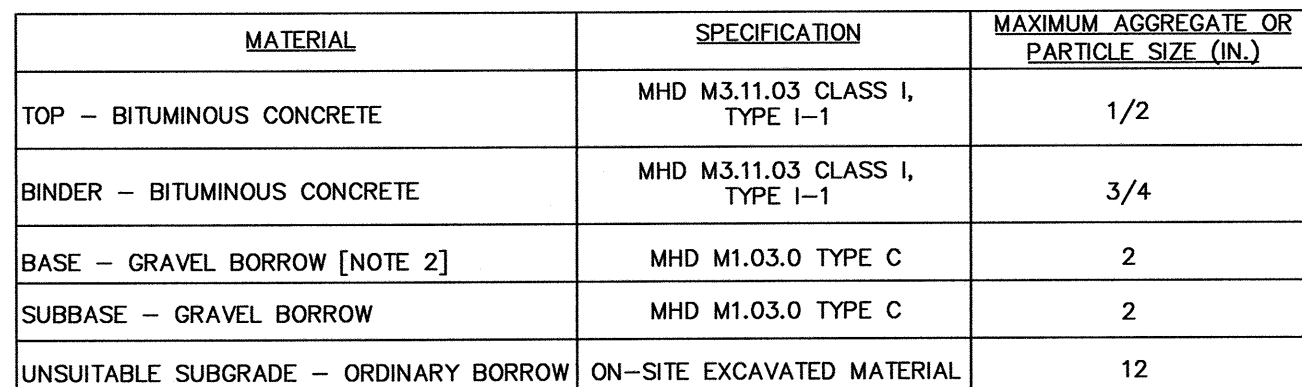


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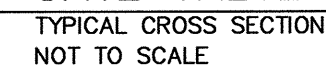
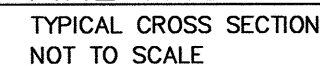


Dimension	
A	13.25
B	16.75

TYPICAL CROSS SECTION  
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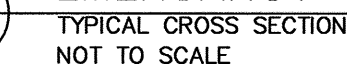
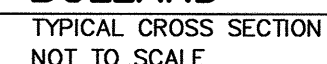
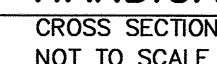
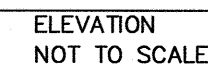
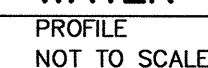
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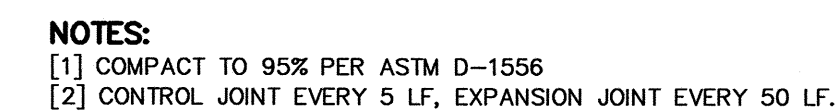
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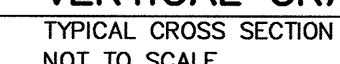
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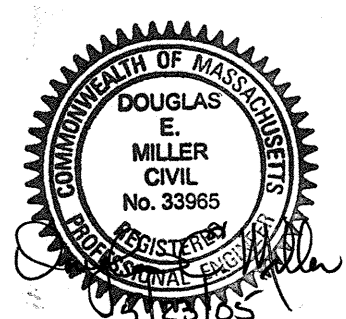
PLAN VIEW  
NOT TO SCALE



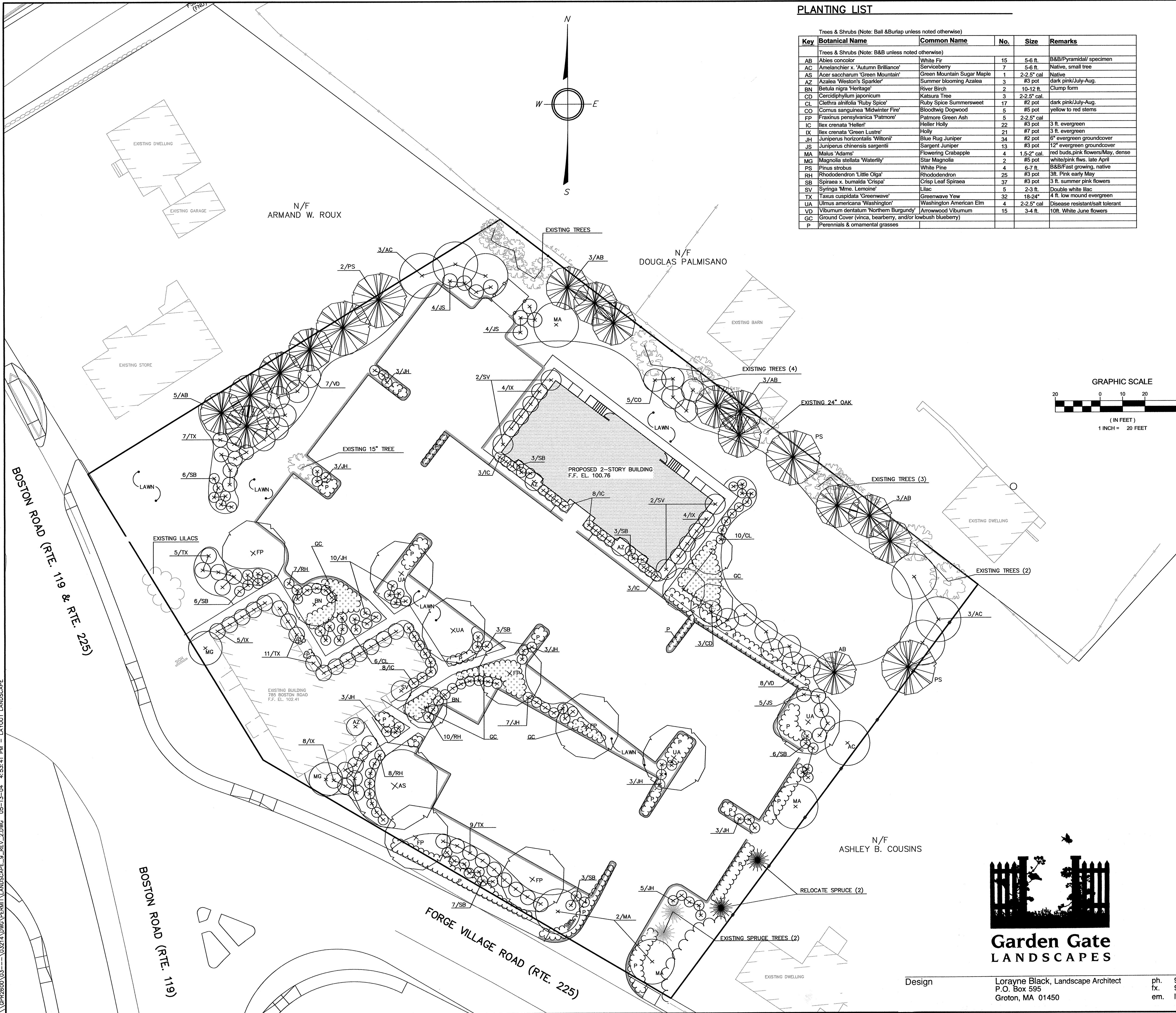
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CHK. BY: BNC			



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PLANTING LIST

Trees & Shrubs (Note: B&B unless noted otherwise)					
Key	Botanical Name	Common Name	No.	Size	Remarks
AB	Abies concolor	White Fir	15	5-6 ft.	B&B/Pyramidal/ specimen
AC	Amelanchier x. 'Autumn Brilliance'	Serviceberry	7	5-6 ft.	Native, small tree
AS	Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	1	2-2.5' cal	Native
AZ	Azalea 'Weston's Sparkler'	Summer blooming Azalea	3	#3 pot	dark pink/July-Aug.
BN	Betula nigra 'Heritage'	River Birch	2	10-12 ft.	Clump form
CD	Cercidiphyllum japonicum	Katsura Tree	3	2-2.5' cal	
CL	Clethra alnifolia 'Ruby Spice'	Ruby Spice Summersweet	17	#2 pot	dark pink/July-Aug.
CO	Cornus sanguinea 'Midwinter Fire'	Bloodwig Dogwood	5	#5 pot	yellow to red stems
FP	Fraxinus pensylvanica 'Patmore'	Patmore Green Ash	5	2-2.5' cal	
IC	Ilex crenata 'Helleri'	Helleri Holly	22	#3 pot	3 ft. evergreen
IX	Ilex crenata 'Green Lustre'	Holly	21	#7 pot	3 ft. evergreen
JH	Juniperus horizontalis 'Wiltoni'	Blue Rug Juniper	34	#2 pot	6" evergreen groundcover
JS	Juniperus chinensis sargentii	Sargent Juniper	13	#3 pot	12" evergreen groundcover
MA	Malus 'Adams'	Flowering Crabapple	4	1.5-2" cal.	red buds, pink flowers/May, dense
MG	Magnolia stellata 'Waterlily'	Star Magnolia	2	#5 pot	white/pink flws. late April
PS	Pinus strobus	White Pine	4	6-7 ft.	B&B/Fast growing, native
RH	Rhododendron 'Little Olga'	Rhododendron	25	#3 pot	3ft. Pink early May
SB	Spiraea x. bumalda 'Crispa'	Crisp Leaf Spiraea	37	#3 pot	3 ft. summer pink flowers
SV	Syringa 'Mme. Lemoine'	Lilac	5	2-3 ft.	Double white lilac
TX	Taxus cuspidata 'Greenwave'	Greenwave Yew	32	18-24"	4 ft. low mound evergreen
UA	Ulmus americana 'Washington'	Washington American Elm	4	2-2.5' cal	Disease resistant/salt tolerant
VD	Viburnum dentatum 'Northern Burgundy'	Arrowwood Viburnum	15	3-4 ft.	10ft. White June flowers
GC	Ground Cover (vinca, bearberry, and/or lowbush blueberry)				
P	Perennials & ornamental grasses				

LEGEND

EXISTING	PROPOSED
--- 100 ---	--- 100 ---
100.0	100.0
SPOT GRADE	SPOT GRADE
PROPERTY LINE	PROPERTY LINE
BUILDING ENVELOPE	BUILDING ENVELOPE
10-YR FLOODPLAIN LIMIT	10-YR FLOODPLAIN LIMIT
100-YR FLOODPLAIN LIMIT	100-YR FLOODPLAIN LIMIT
WETLAND EDGE WITH FLAG NO.	WETLAND EDGE WITH FLAG NO.
25' NO-DISTURBANCE ZONE LIMIT	25' NO-DISTURBANCE ZONE LIMIT
100' WETLAND BUFFER ZONE LIMIT	100' WETLAND BUFFER ZONE LIMIT
SHORELINE	SHORELINE
INTERMITTENT STREAM/DITCH	INTERMITTENT STREAM/DITCH
200' RIVERFRONT ZONE LIMIT	200' RIVERFRONT ZONE LIMIT
EDGE OF PAVEMENT	EDGE OF PAVEMENT
GRAVEL/DIRT ROAD	GRAVEL/DIRT ROAD
FENCE	FENCE
STONE WALL	STONE WALL
WATER MAIN	WATER MAIN
WATER SERVICE	WATER SERVICE
FOUNDATION DRAIN	FOUNDATION DRAIN
FORCE MAIN	FORCE MAIN
GRAVITY SEWER LINE	GRAVITY SEWER LINE
GAS LINE	GAS LINE
BURIED POWER LINE	BURIED POWER LINE
STORM DRAIN	STORM DRAIN
CATCH BASIN	CATCH BASIN
DRAIN MANHOLE	DRAIN MANHOLE
HAYBALE BARRIER	HAYBALE BARRIER
SILT FENCE BARRIER	SILT FENCE BARRIER
RETAINING WALL	RETAINING WALL
APPROXIMATE LOC. DEEP SOIL OBSERVATION HOLE	APPROXIMATE LOC. DEEP SOIL OBSERVATION HOLE
APPROXIMATE LOC. PERCOLATION TEST	APPROXIMATE LOC. PERCOLATION TEST
SOIL BORING	SOIL BORING
GROUNDWATER MONITORING WELL	GROUNDWATER MONITORING WELL
WELL	WELL
ELEVATION BENCHMARK	ELEVATION BENCHMARK
SURFACE RUNOFF DIRECTION	SURFACE RUNOFF DIRECTION
NUMBER OF PARKING SPACES	NUMBER OF PARKING SPACES
BUILDING-MOUNTED LIGHT	BUILDING-MOUNTED LIGHT
SITE LIGHT	SITE LIGHT

ABBREVIATIONS

TP	TOP OF PAVEMENT
TW	TOP OF WALL
FG	FINISH GRADE
FF	FIRST FLOOR
LL	LOWER LEVEL
BF	BOTTOM OF FOOTING
CB	CATCH BASIN
LCB	LANDSCAPE CATCH BASIN
DMH	DRAIN MANHOLE

DRAWING ISSUED FOR:

- ☐ CONCEPT ☐ CONSTRUCTION  
☒ PERMIT ☐ CONSTRUCTION RECORD

THIS DRAWING IS NOT INTENDED TO SHOW CONSTRUCTION DETAILS AND SPECIFICATIONS FOR ALL PROPOSED IMPROVEMENTS, NOR IS IT INTENDED TO DEFINE ALL CONSTRUCTION CONTRACTOR RESPONSIBILITIES/AREAS OF JURISDICTION.

NO.	DATE	BY	APP.	REVISION DESCRIPTION
2.	05/13/04	MS	BNC	PER PLANNING BOARD COMMENTS
1.	05/03/04	MS	BNC	REMOVE PLANTS FOR LINE OF SIGHT

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for Land & Structures

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www.gpr-inc.com

COMMERCIAL DEVELOPMENT

LANDSCAPE PLAN

785 BOSTON ROAD  
GROTON, MA

OWNER/APPLICANT:  
SAMANTHA REALTY TRUST LLC  
18 MAIN STREET  
TOWNSEND, MA

DES. BY MS	DATE: APRIL 2004	JOB 03214	AS.101
CHK. BY: BNC			



**Garden Gate**  
LANDSCAPES

Design

Lorayne Black, Landscape Architect  
P.O. Box 595  
Groton, MA 01450

ph. 978-448-5922  
fx. 978-448-4104  
em. lblack@groton.org

Numeric Summary							
Project: All Projects							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Walkway_Top	Illuminance	Fc	2.48	12.3	1.0	2.48	12.30
Grass	Illuminance	Fc	0.93	18.4	0.0	0.00	0.00
Walkway_Top	Illuminance	Fc	1.99	3.3	1.0	1.99	3.30
Parking_Planar	Illuminance	Fc	2.00	7.2	0.5	4.00	14.40

Luminaire Schedule						
Project: All Projects						
Symbol	Qty	Label	Arrangement	Lumens	LLF	Description
	21	B	SINGLE	8800	0.850	BRC-100-MH
	2	C	TWIN	955	0.800	Lumiere 206 bare lamp photometrics 50-MR16-12-NFL
	6	D	SINGLE	3150	0.750	Luraline 13020 XGNA
	8	AB	SINGLE	8500	0.850	InVue Epic 100MH 4S
	1	A2B	BACK-BACK	8500	0.850	InVue Epic 100MH 4S

Luminaire Location Summary							
Project: All Projects							
SeqNo	Label	X	Y	Z	Orient	Trt	
2	B	-13.25	89	12	0	0	
11	B	87.5	143.5	12	0	0	
12	B	94	51.25	12	0	0	
13	B	98.75	161	12	0	0	
14	B	114.75	179.75	12	0	0	
15	B	117	121	12	0	0	
21	B	131.75	110	12	0	0	
22	B	134.75	165	12	0	0	
24	B	161.75	87	12	0	0	
25	B	169.75	138.5	12	0	0	
26	B	189.25	123.25	12	0	0	
29	B	155.536	154.889	12	0	0	
30	B	175.908	105.487	12	0	0	
43	B	49.956	3.493	12	0	0	
54	B	61.069	64.846	12	0	0	
55	C	122.143	-65.99	12	327.738	0	
56	C	121.508	-65.567	12	144.871	0	
57	D	101.528	138.876	12	235.009	0	
58	D	106.642	134.899	12	235.009	0	
59	D	124.256	121.641	12	235.009	0	
60	D	130.506	116.717	12	235.009	0	
61	D	146.984	104.027	12	235.009	0	
62	D	153.423	99.103	12	235.009	0	
45	B	70.061	43.394	12	0	0	
50	B	38.51	24.024	12	0	0	
51	B	13.603	57.748	12	0	0	
52	B	36.079	71.378	12	0	0	
53	B	-1.702	83.477	12	0	0	
79	AB	16.802	127.944	12	320	0	
80	AB	56.845	106.012	12	50	0	
69	AB	99.278	-36.078	12	60	0	
73	AB	199.308	54.773	12	230	0	
75	AB	159.75	-59.351	12	147.487	0	
81	AB	190.308	-13.319	12	147.487	0	
77	A2B	147.286	12.819	12	45	0	
82	B	-40.581	71.372	12	0	0	
78	AB	49.261	169.681	12	320	0	
83	AB	78.287	208.231	12	277.254	0	

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COOPER

Cooper Lighting

Project : 785 Boston Road  
Groton, MA

Reflex Lighting Group  
Greg Walson

Project # :  
0400975C

Date :  
4/26/2004

Scale :  
1" = 20'

Drawing :  
WN

Cooper Lighting CFC  
Applications Engineering  
1121 Highway 74 South  
770-486-4596  
770-486-4599 Fax  
e-mail:  
applications@cooperlighting.com

# PERMIT PLAN

## 785 BOSTON ROAD

### GROTON, MA

#### SHEET INDEX

- C1.1 TITLE SHEET
- C2.1 EXISTING CONDITIONS AND DEMOLITION PLAN
- C3.1 SITE LAYOUT PLAN
- A-1 FLOOR PLAN FIRST FLOOR PLAN
- A-2 FLOOR PLAN SECOND FLOOR PLAN
- A-3 FLOOR PLAN BASEMENT FLOOR PLAN
- A-4 FRAMING PLAN SECOND FLOOR FRAMING
- ROOF / CEILING FRAMING PLAN
- A-5 EXTERIOR ELEVATIONS EXISTING BUILDING
- A-6 EXTERIOR ELEVATIONS EXISTING BUILDING

#### SITE DATA

LOT AREA: 1.71± AC. (74,282 SF)  
WATER SUPPLY: MUNICIPAL  
SEWAGE DISPOSAL: ON-SITE SEWAGE DISPOSAL SYSTEM  
ZONING DISTRICT: BUSINESS B-1  
OVERLAY DISTRICT: WRPD III  
DEP DISTRICT: NON-COMMUNITY IWPA HAS BEEN REMOVED

#### PLAN REFERENCES

- "COMMERCIAL DEVELOPMENT" 785 BOSTON ROAD GROTON, MA PREPARED FOR NAM HANG, LLC BY GOLDSMITH, PREST, AND RINGWALL INC. DATED APRIL, 2006 REVISED THROUGH 6/29/08. JOB 061007
- "COMMERCIAL DEVELOPMENT" 785 BOSTON ROAD GROTON, MA PREPARED FOR SAMANTHA REALTY TRUST LLC BY GOLDSMITH, PREST, AND RINGWALL INC. DATED JANUARY, 2004 REVISED THROUGH 5/19/07.

#### ASSESSORS REFERENCE

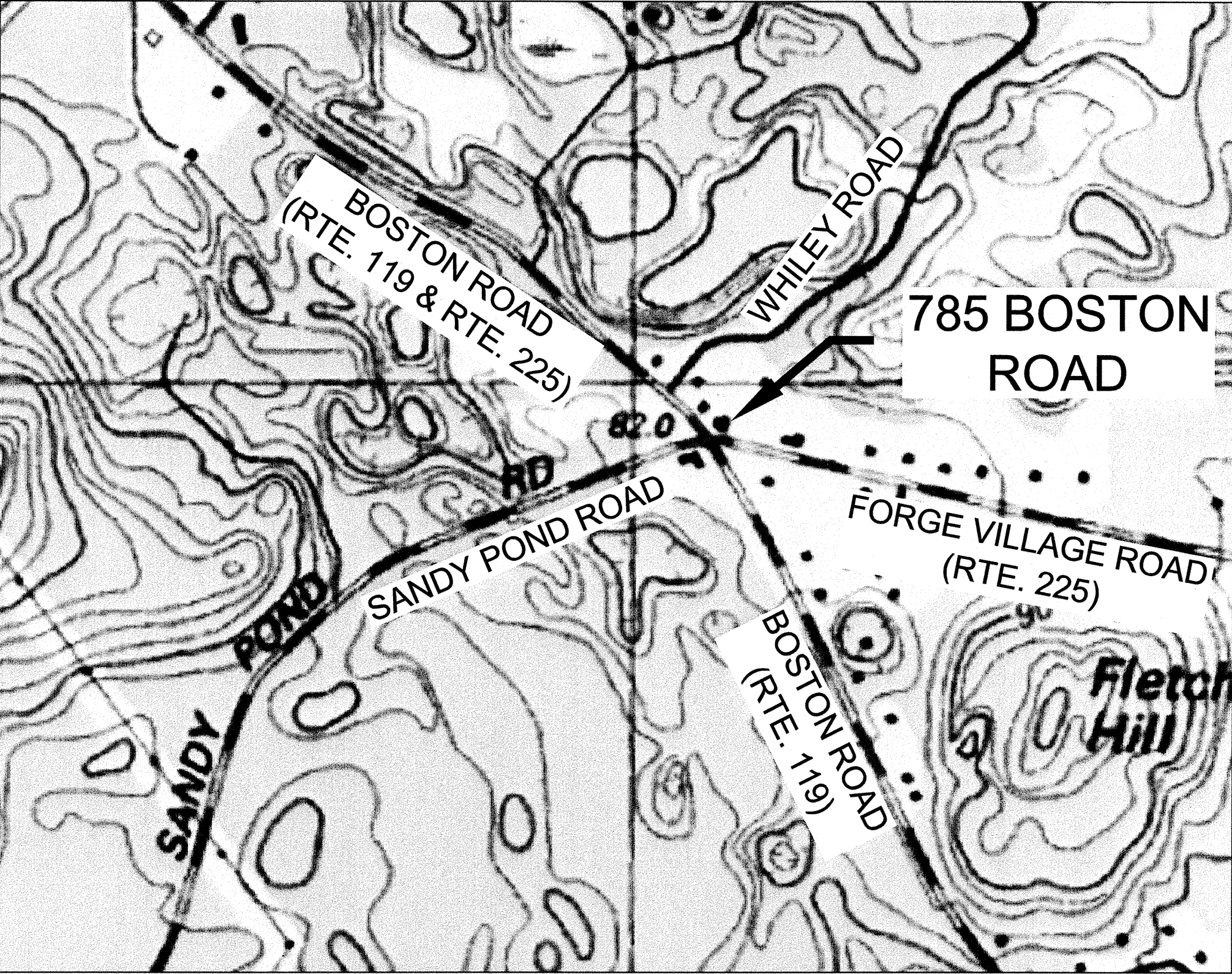
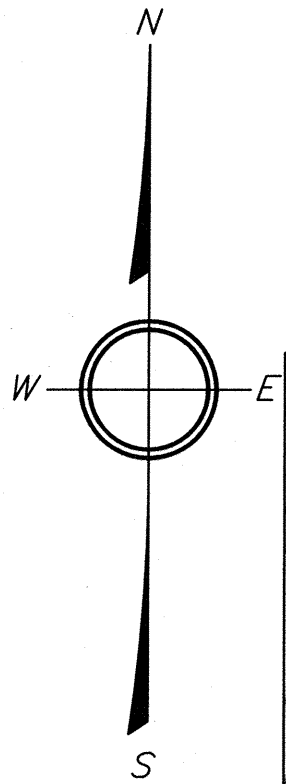
ASSESSORS MAP 133, LOT 11

#### GENERAL NOTES

- LOCATIONS OF EXISTING UNDERGROUND UTILITIES/OBSTRUCTIONS/SYSTEMS SHOWN HEREON ARE APPROXIMATE ONLY. ALL UTILITIES/OBSTRUCTIONS/SYSTEMS MAY NOT BE SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES/OBSTRUCTIONS/SYSTEMS, WHETHER OR NOT SHOWN HEREON.
- UNLESS OTHERWISE SHOWN, ALL NEW UTILITIES SHALL BE UNDERGROUND.
- BURIED UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THEIR RESPECTIVE COMPANY SPECIFICATIONS.
- CONSTRUCTION LAYOUT OF BUILDING AND SITE IMPROVEMENTS SHALL BE PERFORMED BY A LICENSED PROFESSIONAL LAND SURVEYOR. LOCATIONS OF EXISTING FEATURES OR PROPOSED IMPROVEMENTS DERIVED BY SCALING DRAWINGS MAY NOT BE ACCURATE. PROPERTY LINES SHOWN HEREON ARE APPROXIMATE. SEE PLAN REFERENCE HEREON.
- SAFETY MEASURES, CONSTRUCTION METHODS, AND CONTROL OF WORK SHALL BE RESPONSIBILITY OF CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY EXISTING UTILITY OR STRUCTURE DAMAGED DURING CONSTRUCTION THAT ARE NOT DESIGNATED FOR DEMOLITION AND/OR REMOVAL HEREON. DAMAGED UTILITY OR STRUCTURE SHALL BE REPAIRED TO THE SATISFACTION OF THEIR RESPECTIVE OWNERS.
- ANY INTENDED REVISION OF THE HORIZONTAL AND/OR VERTICAL LOCATION OF IMPROVEMENTS TO BE CONSTRUCTED AS SHOWN HEREON SHALL BE REVIEWED AND APPROVED BY ENGINEER PRIOR TO IMPLEMENTATION.
- CONTRACTOR SHALL NOTIFY ENGINEER UPON COMMENCEMENT OF CONSTRUCTION IN ORDER TO ENSURE THAT REQUIRED INSPECTIONS ARE PERFORMED IN A TIMELY AND EFFICIENT MANNER.
- CONTRACTOR SHALL PROMPTLY NOTIFY ENGINEER UPON DISCOVERY OF ANY UNFORESEEN SURFACE OR SUBSURFACE CONDITIONS THAT MAY IMPACT SITE CONSTRUCTION.
- WHERE EXISTING UTILITY LINES/STRUCTURES ARE TO BE CUT/BROKEN DOWN/ABANDONED, LINES/STRUCTURES SHALL BE PLUGGED/CAPPED/FILLED IN ACCORDANCE WITH UTILITY OWNER REQUIREMENTS.
- EROSION CONTROL MEASURES, SUCH AS SILT FENCE OR HAY BALES AS MAY BE SHOWN HEREON, SHALL BE INSTALLED BEFORE EARTH DISTURBANCE OCCURS WITHIN BUFFER ZONE, AND SHALL SERVE AS THE LIMIT OF WORK.
- WHERE THE WORD "INSTALL" IS USED HEREIN, IT IS INTENDED TO DIRECT CONTRACTOR TO "FURNISH, INSTALL, AND PLACE IN OPERATION" THE COMPONENT REFERRED TO.
- LIMITS OF WORK SHALL BE STAKED IN THE FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- WHERE SHOWN, CONSTRUCTION NOTES ARE INTENDED TO SUMMARIZE AND CLARIFY MAJOR ITEMS OF WORK. THESE NOTES SHOULD NOT BE CONSTRUED AS AN EXHAUSTIVE LISTING OF ALL WORK REQUIRED. CONTRACTOR SHOULD CONTACT ENGINEER WHEN FURTHER CLARIFICATION OF DEPICTED WORK IS DESIRED.
- CONSTRUCTION OF FIRE AND DOMESTIC WATER SUPPLY IMPROVEMENTS SHALL CONFORM TO TOWN OF GROTON REQUIREMENTS.
- NO DEBRIS, JUNK, RUBBISH OR OTHER NON-BIODEGRADABLE MATERIALS, FILL CONTAINING HAZARDOUS MATERIALS OR WASTES, OR STUMPS SHALL BE BURIED ON ANY LAND ON THIS SITE, OR LEFT ON ANY LOT OR ON THE STREET RIGHT OF WAY.
- TOWN OF GROTON WATER DEPARTMENT'S RULES AND REGULATIONS, AND MATERIALS AND INSTALLATION SPECIFICATIONS WILL GOVERN THE WATER UTILITY PORTIONS OF WORK HEREIN.
- ALL EXTERNAL DISCONNECTS FOR UTILITIES SHALL BE LOCKED.
- EXCEPT FOR HANDICAPPED SPACES, NO PARKING SPACES WILL BE EXCLUSIVELY RESERVED FOR INDIVIDUAL OR BUSINESS USE.

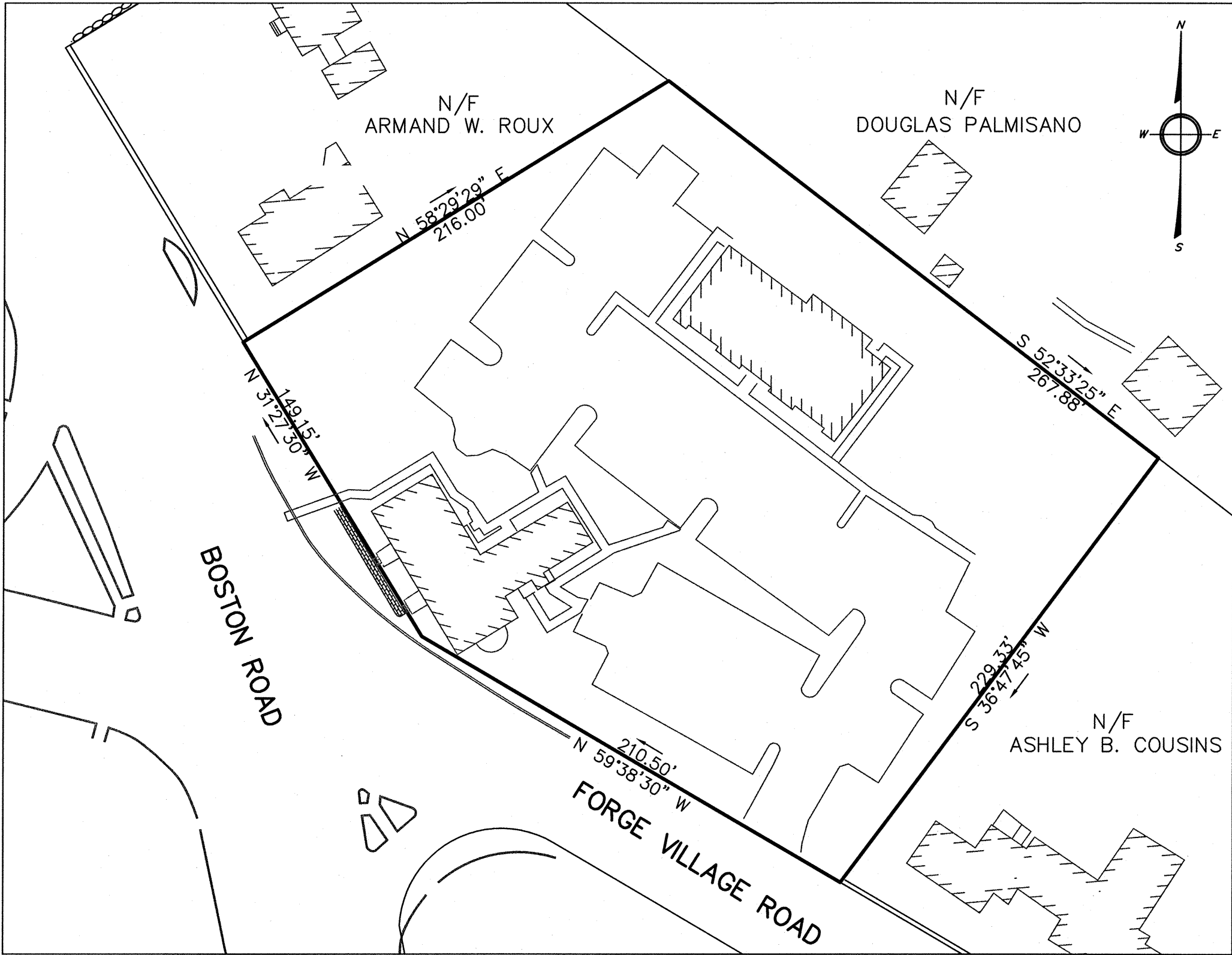
#### REGULATORY NOTES

- CONTRACTOR SHALL CONTACT DIG-SAFE FOR UNDERGROUND UTILITY MARKING AT 888.344.7233 AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL GIVE TWENTY-FOUR (24)-HOUR NOTICE TO PERTINENT TOWN DEPARTMENTS BEFORE COMMENCING ANY WORK IN THE FIELD.
- CONTRACTOR SHALL COORDINATE AND OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY REGULATORY AUTHORITIES.
- CONTRACTOR SHALL BE AWARE OF ALL CONSTRUCTION REQUIREMENTS, CONDITIONS, AND LIMITATIONS IMPOSED BY PERMITS AND APPROVALS ISSUED BY REGULATORY AUTHORITIES PRIOR TO COMMENCEMENT OF ANY WORK.
- ALL WORK OUTSIDE OF BUILDING THAT IS LESS THAN 10 FEET FROM THE INSIDE FACE OF BUILDING FOUNDATION SHALL CONFORM WITH THE UNIFORM STATE PLUMBING CODE OF MASSACHUSETTS, 248 CMR 2.00.



#### VICINITY MAP

SCALE: 1" = 500'



#### PLOT PLAN

SCALE: 1" = 50'

#### ZONING

Parameter	Section [1]	Requirement	Remarks
Zoning District	218-8	B-1	Business District
Overlay District	218-30	see Note [2]	DEP Zone 3
Proposed Use	218-13	allowed	Commercial Building: Retail, Food Service, Office
Lot Area	218-20	none	No minimum for nonresidential uses
Frontage	218-20	none	No minimum for nonresidential uses
Lot Width	218-22.K	see Note [3]	
Yard			
Front	218-20	50 FT	
Side	218-20	15 FT	
Rear	218-20	15 FT	
Building Height	218-20	35 FT, 3 stories	
Building Coverage	218-20	25%	Maximum Lot Coverage
Floor Area Ratio	218-20	none	
Open Space	345A-2A.(4)	25%	Minimum for lots< 3 acres
Parking	218-23	Consult Parking Computations Table [4]	
Wetlands Setback	local bylaw	200' rivers; 100' wetlands	Chapter 215 (none on site)
MDEP Riverfront Area			none on site
FEMA Floodplain			Zone C (Area of minimal flooding)
ACEC			none on site
Zone 1 Protective Radius			none on site
Mapped Zone 2			none on site
IWPA			within mapped zone

NOTES:

[1] Reference to section of Zoning Bylaw, where applicable.

[2] Section 218-30 Water Resource Protection District III (WRPD III).

[3] Not less than the frontage requirement shall be maintained for 50 FT measured perpendicular to a straight line connecting the 2 front lot corners, and at no point within the area from the front yard depth to principal dwelling shall the distance between the side lot lines be < 75% of minimum required frontage.

[4] Section 218-23B: Minimum parking requirements  
Section 218-23C: Required parking must be located on same premises as the activity it serves.  
Each parcel shall be credited with 10 on-street parking spaces if the parcel is served by the existing curb and sidewalk system (this on-street parking does not qualify as meeting parking requirements for Section 218-25A). Off-street parking, loading areas and access drives (if involving 6 or more parking spaces) shall be treated with bituminous or other paving material and illumination shall be arranged and screened if necessary to deflect light away from adjoining lots and abutting streets. Parking areas with 6 or more spaces to be designed so that no vehicle will be required to back into a public way to exit from space. At least 5% of the interior of any parking lot having 20 or more spaces shall be maintained with landscaping, including trees, in plots of at least 4 FT in width.

ABBREVIATIONS:  
SF=square feet; CF=cubic feet; FT=feet; GFA=gross floor area; AC=acres; PB=Planning Board; ZBA=Zoning Board of Appeals; IWPA=interim wellhead protection area; ACEC=Area of Critical Environmental Concern; FIRM=Flood Insurance Rate Map; MDEP=Massachusetts Dept of Environmental Protection

#### PARKING COMPUTATIONS

USE	FORMULA	VARIABLE	REQUIRED SPACES	EXISTING SPACES	PERMITTED SPACES
Restaurant	5 minimum, plus 1 space per 2 seats	44 seats	27	27	27
Office	2 spaces plus 1 space per 180 SF GFA	6,680 SF	40	40	40
Salon (other service est.)	5 minimum, plus 1 space per 250 SF GFA	3,000 SF	17	17	17
<b>TOTAL</b>			<b>84</b>	<b>84</b>	<b>84</b>

#### COVERAGE COMPUTATIONS

PARAMETER	AREA (ACRES)	AREA (SQUARE FEET)	FRACTION OF TOTAL LOT AREA (%)
<b>EXISTING CONDITION</b>			
Lot Area	1.71	74,282	100%
Building Footprint	0.16	6,918	9%
Other Impervious Area	0.68	29,502	40%
Total Impervious Coverage	0.84	36,420	49%
Existing Open Space	0.87	37,862	51%
<b>PROPOSED CONDITION</b>			
Lot Area	1.71	74,282	100%
Building Footprint	0.17	7,392	10%
Other Impervious Area	0.67	29,402	40%
Total Impervious Coverage	0.84	36,794	49%
Proposed Open Space	0.86	37,488	50%

#### SURVEY NOTES:

- OFFSETS ARE NOT FOR THE REPRODUCTION OF PROPERTY LINES.
- SEE PLAN # 40 OF 1971, MIDDLESEX NORTH DISTRICT REGISTRY OF DEEDS
- THE RESPONSIBILITY OF THE PROFESSIONAL LAND SURVEYOR IS LIMITED TO LOT BOUNDARY AND EXISTING TOPOGRAPHIC DATA ONLY
- TOPOGRAPHY SHOWN HEREON IS A COMPILATION OF PRE-CONSTRUCTION EXISTING CONDITIONS SURVEY AND CONSTRUCTION RECORD SURVEY AND SHOULD BE VERIFIED IN AREAS WHERE CONSTRUCTION IS PROPOSED.

PROFESSIONAL LAND SURVEYOR

APPROVED BY THE  
GROTON PLANNING BOARD

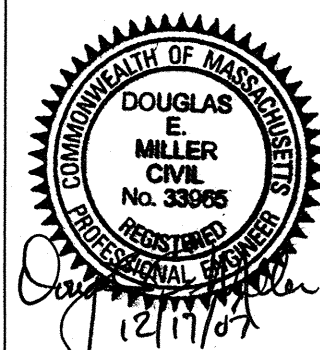
CHAIR  
APPLICATION FILED  
HEARING DATE  
PLAN APPROVED

THIS SITE PLAN APPROVAL DOES NOT NECESSARILY INDICATE COMPLIANCE WITH THE GROTON ZONING BYLAW

#### DRAWING ISSUED FOR:

- ☐ CONCEPT ☐ CONSTRUCTION  
☒ PERMIT ☐ CONSTRUCTION RECORD

THIS DRAWING MAY NOT SHOW CONSTRUCTION DETAILS AND SPECIFICATIONS FOR ALL PROPOSED IMPROVEMENTS, AND MAY NOT IDENTIFY ALL CONSTRUCTION WORK ITEMS/AREAS OF CONTRACTOR JURISDICTION.




NO.	DATE	BY	APP.	REVISION	DESCRIPTION
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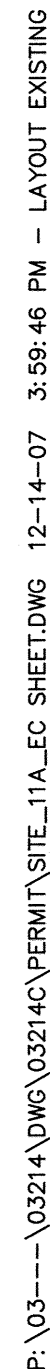
#### COMMERCIAL DEVELOPMENT

#### TITLE SHEET

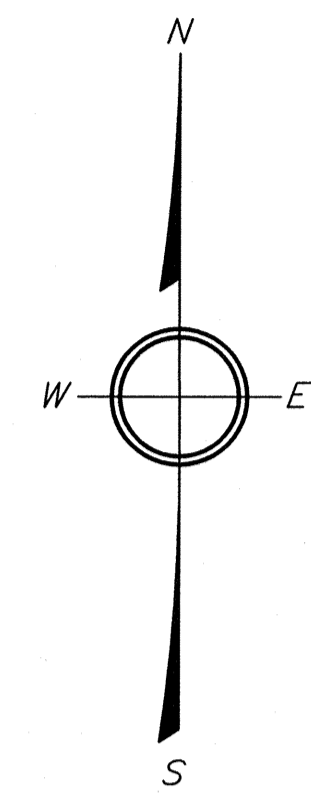
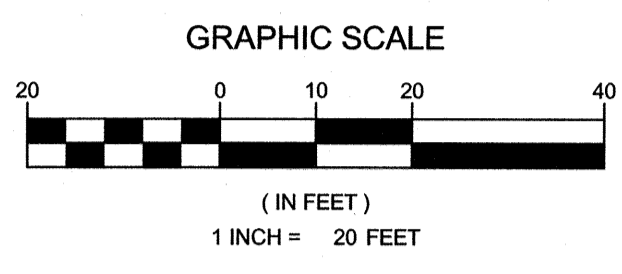
**785 BOSTON ROAD**  
**GROTON, MA**

OWNER/APPLICANT:  
SAMANTHA REALTY TRUST LLC  
188 AYER ROAD  
HARVARD, MA

DWN. BY: CAD	DATE: DECEMBER 2007	JOB 03214	C1.1
CHK. BY: MS			



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# LEGEND

EXISTING

-100  
100x0

ELEVATION CONTOUR

SLOT GRADE

PROPERTY LINE

BUILDING ENVELOPE

10'-0" FLOODPLAIN LIMIT

100'-0" FLOODPLAIN LIMIT

WETLAND EDGE WITH FLAG NO.

25' NO-DISTURBANCE ZONE LIMIT

100' WETLAND BUFFER ZONE LIMIT

SHORELINE

INTERMITTENT STREAM/DITCH

200' RIVERFRONT ZONE LIMIT

EDGE OF PAVEMENT

GRAVEL/DIRT ROAD

FENCE

STONE WALL

WATER MAIN

WATER SERVICE

FOUNDATION DRAIN

FORCE MAIN

GRAVITY SEWER LINE

GAS LINE

BURIED POWER LINE

STORM DRAIN

CATCH BASIN

DRAIN MANHOLE

HAYBALE BARRIER

SILT FENCE BARRIER

RETAINING WALL

APPROXIMATE LOC. DEEP SOIL OBSERVATION HOLE

APPROXIMATE LOC. PERCOLATION TEST

SOIL BORING

GROUNDWATER MONITORING WELL

WELL

ELEVATION BENCHMARK

SURFACE RUNOFF DIRECTION

NUMBER OF PARKING SPACES

BUILDING-MOUNTED LIGHT

BOLLARD

SITE LIGHT

UNDERGROUND UTILITIES

TRAFFIC DICTION

PROPOSED

100.0  
FG

WS

FD

FM

SS

SD

DMH

199-A

SBI

GM1

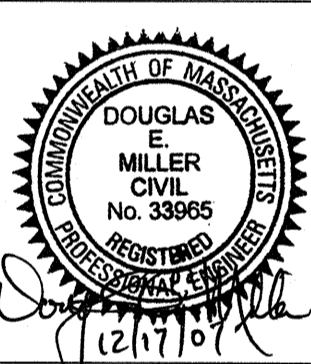
7

E C T

TP	TOP OF PAVEMENT
TW	TOP OF WALL
FG	FINISH GRADE
FF	FIRST FLOOR
LL	LOWER LEVEL
BF	BOTTOM OF FOOTING
WRPD III	WATER RESOURCE PROTECTION DISTRICT ZONE III

☐ CONCEPT    ☐ CONSTRUCTION  
☒ PERMIT       ☐ CONSTRUCTION  
                              RECORD

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**GOLDSMITH, PREST & RINGWALL, INC.**

39 MAIN STREET, SUITE 301, Ayer, MA 01432

CIVIL & STRUCTURAL ENGINEERING • LAND SURVEYING & LAND PLANNING

VOICE: 978.772.1590 FAX: 978.772.1591

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## SITE LAYOUT PLAN

OWNER/APPLICANT:  
SAMANTHA REALTY TRUST LLC  
188 AYER ROAD  
HARVARD, MA

OWN. BY CAD	DATE: DECEMBER 2007	JOB 03214	C3.1
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DOOR SCHEDULE					
DOOR	DIMENSIONS	MATERIALS	FRAME	THRESHOLD	NOTES
DOOR D-1	PAIR 3'-0" x 7'-0"	STEEL & GLASS	STEEL	ALUM.	INSULATED
DOOR D-2	3'-0" x 6'-8" x 1'-3/4"	WOOD & GLASS	STEEL	NONE	WITH SIDE LIGHT
DOOR D-3	3'-0" x 6'-8" x 1'-3/4"	S.C. WOOD	STEEL	ALUM.	FIRE RATED
DOOR D-4	3'-0" x 6'-8" x 1'-3/4"	S.C. WOOD	STEEL	ALUM.	FIRE RATED
DOOR D-5, 6.	3'-0" x 6'-8" x 1'-3/4"	S.C. WOOD	STEEL	NONE	TOILET ROOMS
DOOR D-2 I	3'-0" x 6'-8" x 1'-3/4"	WOOD & GLASS	STEEL	NONE	WITH SIDE LIGHT
DOOR D-3	3'-0" x 6'-8" x 1'-3/4"	S.C. WOOD	STEEL	ALUM.	FIRE RATED
DOOR DC-1	3'-0" x 6'-8" x 1'-3/4"	S.C. WOOD	STEEL	ALUM.	FIRE RATED

NEW ADDITION:

NEW ADDITION AT EXISTING BUILDING.  
NEW ENTRY AREA, STAIR WAY, ELEVATOR  
SHAFT, AND HC TOILET ROOMS.

NEW HANDICAPPED ACCESSIBLE  
TOILET ROOMS, FIXTURES, AND  
HARDWARE.

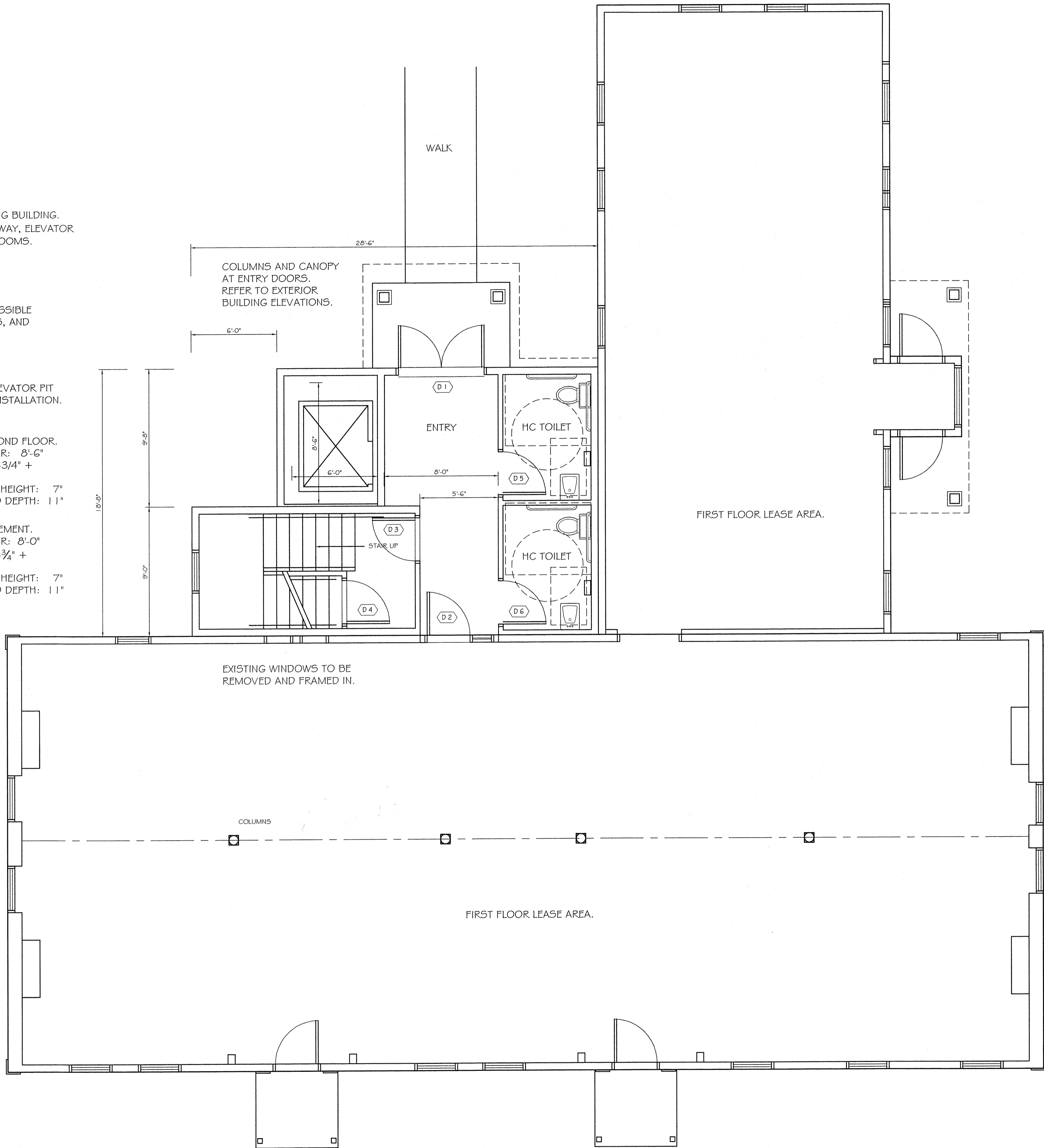
ELEVATOR SHAFT AND ELEVATOR PIT  
FOR FUTURE ELEVATOR INSTALLATION.

STAIRS TO SECOND FLOOR.  
FLOOR TO FLOOR: 8'-6"  
15 RISERS AT 6-3/4" +

MAXIMUM RISER HEIGHT: 7"  
MINIMUM TREAD DEPTH: 11"

STAIRS TO BASEMENT.  
FLOOR TO FLOOR: 8'-0"  
14 RISERS AT 6-3/4" +

MAXIMUM RISER HEIGHT: 7"  
MINIMUM TREAD DEPTH: 11"



1

FIRST FLOOR PLAN

SCALE : 1/4" = 1'-0"

Bid / Construction Drawings

DRAWING NO.

A-1

PROJECT

OFFICE BUILDING NEW ADDITION  
GROTON, MA/CT.

DRAWING

FLOOR PLAN  
FIRST FLOOR PLAN

785 BOSTON ROAD  
GROTON, MA/CT.

SCALE

1/8" = 1'-0"

REVISIONS

1-Schematic Design mlddky

2-Design Development mlddky

3-Construction Documents mlddky

4-Permit Set mlddky

DATE

NOVEMBER 30, 2007

JOB NO.

JT 0623

©

NOVEMBER 30, 2007

J. TAYLOR MOYNIHAN

ARCHITECTURE & PLANNING

22 SOUTH MAIN STREET  
TOPSFIELD, MA, 01963

TEL: (978) 887-8486

DRAWING NO.

A-1

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EXISTING ASPHALT SHINGLE  
ROOFING AND FLASHING  
TO REMAIN.

EXISTING BRICK MASONRY  
END WALLS AND CHIMNEYS  
TO REMAIN.

NEW CLAPBOARD SIDING AND TRIM  
TO REPLACE DAMAGED OR DETERIORATED  
FINISH MATERIALS AT EXTERIOR WALLS.  
ALL WOOD CLAPBOARD SIDING AND TRIM  
TO BE PAINTED.

NEW VINYL CLAD WOOD  
REPLACEMENT WINDOWS  
AT EXISTING WINDOW OPENINGS.  
EXISTING WOOD WINDOWS  
TO BE REMOVED.

EXISTING FOUNDATIONS  
TO REMAIN.

1

FRONT ELEVATION

SCALE : 1/4" = 1'-0"

EXISTING ROOF CONSTRUCTION  
TO REMAIN.

EXISTING BRICK MASONRY  
END WALLS AND CHIMNEY  
TO REMAIN.

NEW VINYL CLAD WOOD  
REPLACEMENT WINDOWS  
AT EXISTING WINDOW OPENINGS.  
EXISTING WOOD WINDOWS  
TO BE REMOVED.

EXISTING ASPHALT SHINGLE  
ROOFING AND FLASHING  
TO REMAIN.

NEW CLAPBOARD SIDING AND TRIM  
TO REPLACE DAMAGED OR DETERIORATED  
FINISH MATERIALS AT EXTERIOR WALLS.  
ALL WOOD CLAPBOARD SIDING AND TRIM  
TO BE PAINTED.

NEW VINYL CLAD WOOD  
REPLACEMENT WINDOWS  
AT EXISTING WINDOW OPENINGS.  
EXISTING WOOD WINDOWS  
TO BE REMOVED.

EXISTING FOUNDATIONS  
TO REMAIN.

2

SIDE ELEVATION RIGHT SIDE

SCALE : 1/4" = 1'-0"

DRAWING NO.

A-5

PROJECT

OFFICE BUILDING  
GROTON, MASS.

DRAWING

EXTERIOR ELEVATION  
EXISTING BUILDING

SCALE

1/4" = 1'-0"

DATE

NOVEMBER 30, 2007

JOB NO.

JT 0623

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NOVEMBER 30, 2007

REVISIONS

1-Schematic Design mmd/kyy

2-Design Development mmd/kyy

3-Construction Documents mmd/kyy

4-Permit Set mmd/kyy

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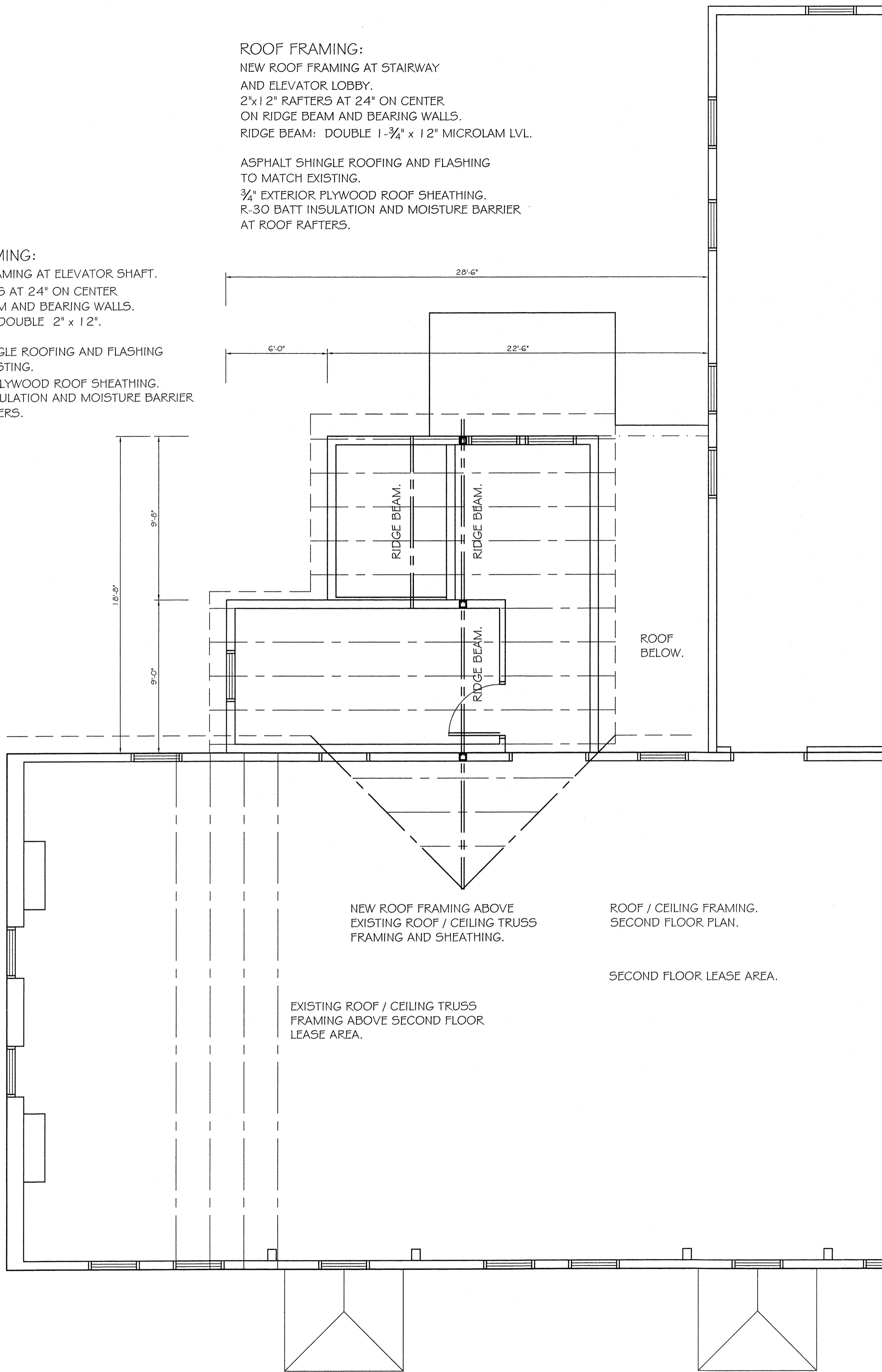
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DRAWING NO.

A-5

Bid / Construction Drawings

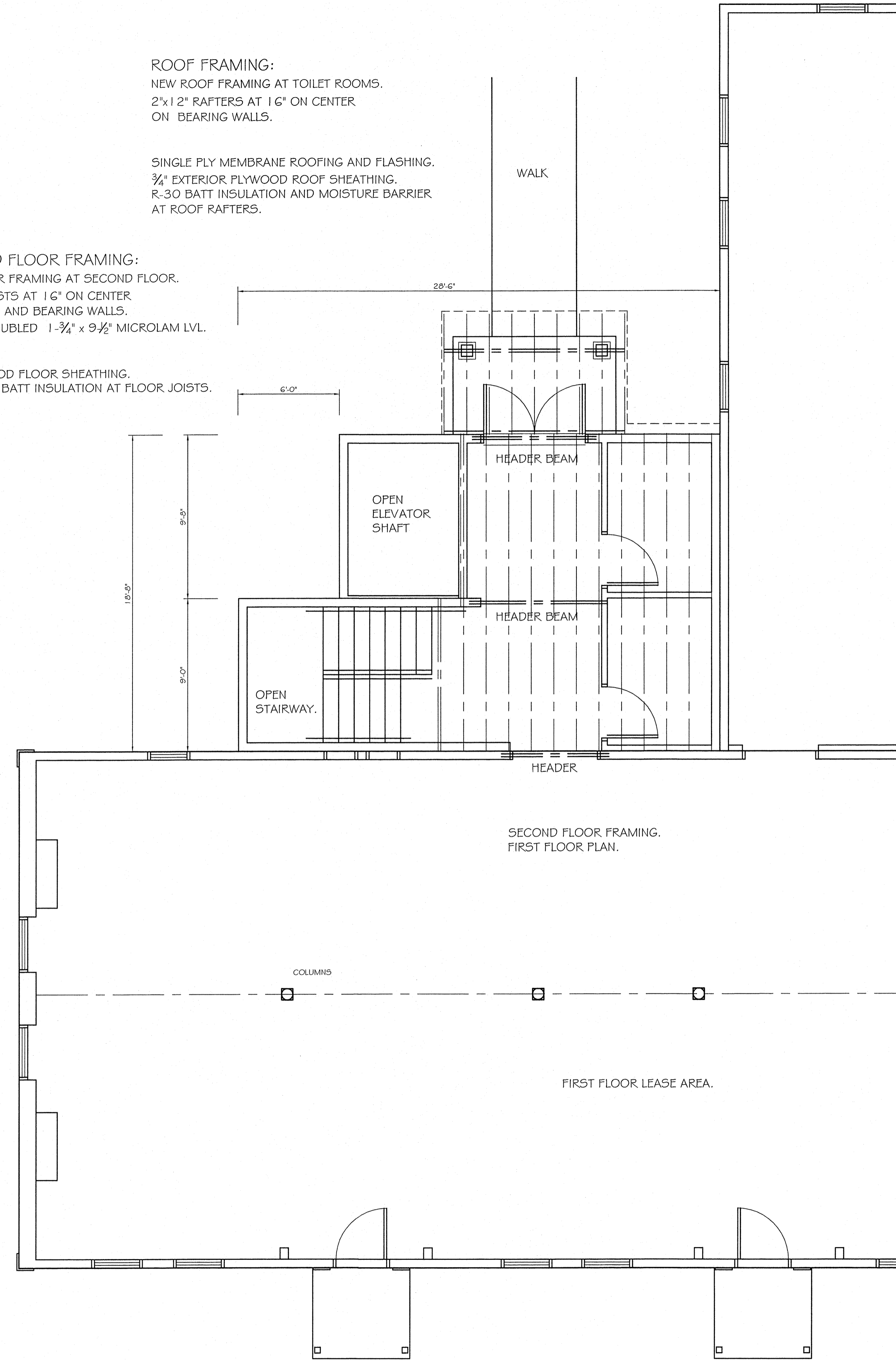
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1 ROOF FRAMING PLAN SECOND FLOOR PLAN  
SCALE : 1/4" = 1'-0"

ROOF FRAMING:  
NEW ROOF FRAMING AT STAIRWAY  
AND ELEVATOR LOBBY.  
2"x12" RAFTERS AT 24" ON CENTER  
ON RIDGE BEAM AND BEARING WALLS.  
RIDGE BEAM: DOUBLE 1-3/4" x 12" MICROLAM LVL.  
  
ASPHALT SHINGLE ROOFING AND FLASHING  
TO MATCH EXISTING.  
3/4" EXTERIOR PLYWOOD ROOF SHEATHING.  
R-30 BATT INSULATION AND MOISTURE BARRIER  
AT ROOF RAFTERS.

ROOF FRAMING:  
NEW ROOF FRAMING AT ELEVATOR SHAFT.  
2"x12" RAFTERS AT 24" ON CENTER  
ON RIDGE BEAM AND BEARING WALLS.  
RIDGE BEAM: DOUBLE 2" x 12".  
  
ASPHALT SHINGLE ROOFING AND FLASHING  
TO MATCH EXISTING.  
3/4" EXTERIOR PLYWOOD ROOF SHEATHING.  
R-30 BATT INSULATION AND MOISTURE BARRIER  
AT ROOF RAFTERS.



1 SECOND FLOOR FRAMING FIRST FLOOR PLAN  
SCALE : 1/4" = 1'-0"

ROOF FRAMING:  
NEW ROOF FRAMING AT TOILET ROOMS.  
2"x12" RAFTERS AT 16" ON CENTER  
ON BEARING WALLS.  
  
SINGLE PLY MEMBRANE ROOFING AND FLASHING.  
3/4" EXTERIOR PLYWOOD ROOF SHEATHING.  
R-30 BATT INSULATION AND MOISTURE BARRIER  
AT ROOF RAFTERS.

SECOND FLOOR FRAMING:  
NEW FLOOR FRAMING AT SECOND FLOOR.  
2"x10" JOISTS AT 16" ON CENTER  
ON BEAMS AND BEARING WALLS.  
BEAM: DOUBLED 1-3/4" x 9-1/2" MICROLAM LVL.  
  
3/4" PLYWOOD FLOOR SHEATHING.  
ACOUSTIC BATT INSULATION AT FLOOR JOISTS.

DRAWING NO.

A-4

PROJECT

OFFICE BUILDING NEW ADDITION  
GROTON, MASS.

SCALE

1/4" = 1'-0"

REVISIONS

1-Schematic Design mmd/ky

2-Design Development mmd/ky

3-Construction Documents mmd/ky

4-Permit Set mmd/ky

DATE

NOVEMBER 30, 2007

JOB NO.

JT 0623

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DRAWING NO.

A-4

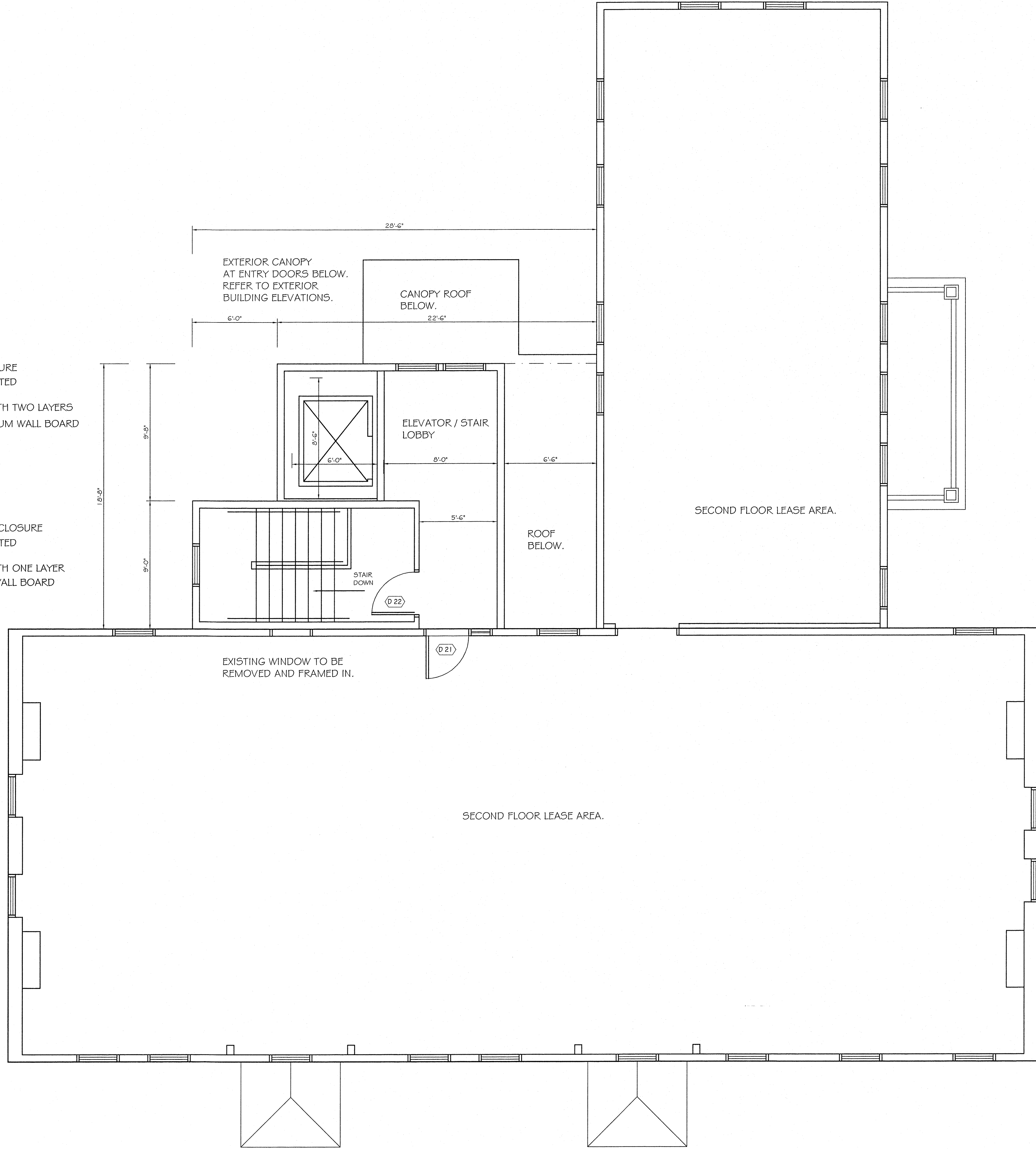


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ELEVATOR SHAFT:  
ELEVATOR SHAFT ENCLOSURE  
MUST BE 2 HOUR FIRE RATED  
CONSTRUCTION:  
WOOD STUD FRAMING WITH TWO LAYERS  
OF 5/8" FIRE RATED GYPSUM WALL BOARD  
ON EACH SIDE.

STAIR ENCLOSURE:  
SECOND FLOOR STAIR ENCLOSURE  
MUST BE 1 HOUR FIRE RATED  
CONSTRUCTION:  
WOOD STUD FRAMING WITH ONE LAYER  
5/8" FIRE RATED GYPSUM WALL BOARD  
ON EACH SIDE,



1

SECOND FLOOR PLAN

SCALE : 1/4" = 1'-0"

Bid / Construction Drawings

DRAWING NO.	PROJECT	REVISIONS	DRAWING NO.
A-2	OFFICE BUILDING GROTON, MASS.	1-Schematic Design mlddky 2-Design Development mlddky 3-Construction Documents mlddky 4-Permit Set mlddky	J. TAYLOR MOYNIHAN ARCHITECTURE & PLANNING 22 SOUTH MAIN STREET TOPSFIELD, MA. 01983 TEL: (978) 887-8486
A-2	NEW ADDITION 785 BOXTON ROAD GROTON, MASS.	1/4" = 1'-0" DATE NOVEMBER 30, 2007 JOB NO. JT 0623 NOVEMBER 30, 2007	A-2
	FLOOR PLAN SECOND FLOOR PLAN		

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